

Development details

Application type	Development Application
Site address #	1
Street address	8 VALLEY ROAD EASTWOOD 2122
Local government area	CITY OF PARRAMATTA
Lot / Section Number / Plan	7/-/DP7004 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Parramatta Local Environmental Plan 2023 Land Zoning R2: Low Density Residential Height of Building 9 m Floor Space Ratio (n:1) 0.5:1 Minimum Lot Size 550 m² Heritage Hughes Road Group on Valley Road Significance: Local Land Reservation Acquisition NA Foreshore Building Line NA Acid Sulfate Soils Class 5

Proposed development

Selected common application types	Alterations or additions to an existing building or structure
Selected development types	Dwelling House
Description of development	Proposed alterations and additions to existing heritage dwelling house
Does the development include affordable housing?	No
Dwelling count details	
Number of dwellings / units proposed	1
Number of storeys proposed	2
Number of pre-existing dwellings on site	1
Number of dwellings to be demolished	0
Number of proposed occupants	1
Existing gross floor area (m2)	241
Proposed gross floor area (m2)	307
Total site area (m2)	904
Total net lettable area (m2)	0
What is the estimated development cost, including GST?	
Estimated development cost	
Do you have one or more BASIX certificates?	Yes
BASIX Certificate Number	A1749382
Climate Zone	
What climate zone/s is the development in?	Climate zone 8 - alpine
Has the climate zone impacted the design of the development?	No
Subdivision	

Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Category of development	Car parking spaces	Motorcycle spaces	Bicycle spaces
Residential accommodation	2	0	0
Total	2	0	0

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	Yes
Are works proposed to any heritage listed buildings?	Yes
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No

Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

Application documents

The following documents support the application.

Document type	Document file name
Architectural Plans	Architectural Drawings - DA - 8 Valley Rd Eastwood - D2 - 23062024
BASIX certificate	BASIX Certificate - 8 Valley Rd Eastwood
Cost estimate report	Cost Estimation - 8 Valley Rd, Eastwood
Erosion and sediment control plan	Erosion & Sediment Control Plan - 8 Valley Rd, Eastwood
Fee estimate	DL Accepted Fees Required - DL 383 2024 - 8 Valley Road, EASTWOOD NSW 2122 -
Generated Pre-DA form	Pre-DA form_1719427370.pdf
Heritage impact statement	Heritage Impact Statement - 8 Valley Road Eastwood
Landscape plan	Landscape plan- 8 Valley Rd Eastwood-1990lan1a
Other	DA Reciept-DL383-2024-917855 DL Return Letter - DL 383 2024 - 8 Valley Road, EASTWOOD NSW 2122 Stormwater checklist - 8 Valley Rd, Eastwood

	00 DA Checklist
Owner's consent	Owners Consent - 8 Valley Rd Eastwood
Site Plans	Site Plan - 8 Valley Road Eastwood
Statement of environmental effects	Statement of Environmental Effects - 8 Valley Rd Eastwood
Stormwater drainage plan	Stormwater Plan - 8 Valley Rd, Eastwood
Survey plan	Survey Plan - 8 Valley Rd Eastwood
Water Management Plan	Waste Management Plan - 8 Valley Rd, Eastwood

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

Lodgement details

Outcome of the pre-lodgement review	Application was lodged
Applicant paid the fees?	Yes
Total fee paid	\$2,547.94
Council unique identification number	DA/418/2024
Date on which the application was lodged into Council's system	1/08/2024



Heritage Impact Statement

Alterations and additions to a heritage item
8 Valley Road, Eastwood

June 2024
EHC24/0157

EDWARDS HERITAGE CONSULTANTS PTY LTD

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Document Control					
Project No.	Issue Date	Revision	Issue	Prepared	Reviewed
EHC24/0157	05/06/2024	A	Initial Draft	HC	ME
	19/06/2024	B	Reviewed		
	19/06/2024	C	Client issue		
	20/06/2024	D	Final issue		

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1.0 EXECUTIVE SUMMARY

1.1 Context of the report

This Heritage Impact Statement has been prepared by Edwards Heritage Consultants Pty Ltd at the request of Adext Architects, to establish the cultural heritage significance of 8 Valley Road, Eastwood ('the subject site') and to then assess the potential heritage impacts against those assessed heritage values and significance. It is intended that this report will then accompany a Development Application to Parramatta City Council.

Situated within the Parramatta City Council local government area and in the locality of Eastwood, which is 17 kilometres northwest of Sydney city, the site comprises Lot 7 in Deposited Plan No.7004, commonly known as 8 Valley Road, Eastwood.

1.2 Overview of the findings of this report

The site is identified as an item of local heritage significance, which is listed under Schedule 5 of *Parramatta Local Environmental Plan 2023*.

This Heritage Impact Statement has re-assessed the heritage values of the property and found that the dwelling at 8 Valley Road, Eastwood is of historical, aesthetic and representative significance at a local level and subsequently, a more comprehensive Statement of Cultural Significance has been developed.

This Heritage Impact Statement has been prepared to consider the potential heritage impacts resulting from the proposed development, which involves the alterations and additions to the existing dwelling.

1.3 Recommendation and mitigation measures

The proposal has been assessed with regards to the identified heritage values and available physical and documentary evidence, including a visual inspection of the site and statutory planning requirements.

In applying the evaluation criteria for assessing the likely impact of a proposed development on the heritage significance of listed items of heritage significance or heritage conservation areas (as published by the Heritage Council of NSW), subject to the recommendations in Table 1 below, the proposal would result in a negligible heritage impact.

TABLE 1 – Recommendations to mitigate heritage impacts	
Recommendation:	Recommended Management / Mitigation Measures:
1. Update citation on NSW State Heritage Inventory Database	<p>The citation for the heritage item on the NSW State Heritage Inventory (SHI) Database should be reviewed by Parramatta City Council and updated to incorporate the historical analysis and the revised Statement of Significance per this Heritage Impact Statement.</p> <p>EHC hereby authorises Parramatta City Council to reproduce the information contained within this report for the purposes of updating and revising the citation on the SHI Database, provided that EHC is acknowledged as the author.</p>
2. Standard of workmanship	<p>All works undertaken on the site in association with the proposed [restorative / conservation / remedial] works should be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.</p>
3. Archaeology	<p>Should any substantial intact archaeological deposits whether artefacts, relics or occupation deposits be discovered or uncovered, excavation and / or disturbance of the site is to immediately cease and the Consent Authority and Heritage NSW notified.</p> <p>Additional archaeological assessment may be required prior to works continuing in the affected area/s based on the nature of the discovery.</p>
4. Retention of significant features and fabric	<p>The modification of the existing entrance to the master bedroom, and the removal of fabric in the hallway will involve material affectation to fabric and features which contribute to the original form of the building. Consideration should be made to minimise material affectation to the building by utilizing previous openings and penetrations in the original portion of the dwelling, in accordance with the principles of the Burra Charter insofar as doing as much as necessary but as little as possible.</p>

2.0 INTRODUCTION

2.1 Acknowledgement of Country

Edwards Heritage Consultants Pty Ltd (herein referred to as 'EHC') acknowledges the traditional custodians of the land on which we work and we recognise their continuing connection to land, waters and culture.

We pay our respects to Aboriginal Elders past, present and emerging, for they hold the memories, the traditions, the culture and hopes of Aboriginal peoples across the state.

EHC recognises that a better understanding and respect for Aboriginal cultures develops an enriched appreciation of Australia's cultural heritage and is essential to the maturity of Australia as a nation and fundamental to the development of our collective Australian identity.

2.2 Context of the report

This Heritage Impact Statement has been prepared at the request of Adext Architects to assess the potential heritage impacts and to accompany a Development Application to Parramatta City Council, which seeks approval for alterations and additions at 8 Valley Road, Eastwood.

The report considers:

1. An assessment of the property to establish its cultural heritage significance with the formulation of a Statement of Significance.
2. What impact the proposed works will have on the identified heritage significance.
3. What measures are proposed to mitigate negative impacts.
4. Why more sympathetic solutions are not viable; and
5. Recommendations to mitigate heritage impacts.

2.3 Methodology

This report has been prepared in accordance with the general methodology, structure and guidelines as set out in '*Guidelines for preparing a Statement of Heritage Impact*' (Department of Planning and Environment, 2023).

The overarching philosophy and approach to this report is guided by the conservation principles and guidelines of the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance (Burra Charter)* 2013.

The assessment criteria developed by the Heritage Council of NSW as contained in the *NSW Heritage Manual* and revised and expanded in '*Assessing Heritage Significance – Guidelines for assessing places and objects against the Heritage Council of NSW criteria*' (Department of Planning and Environment, 2023) is used to assess and establish the cultural significance of the dwelling.

A visual examination of the subject site has been undertaken, which is followed by a merit and significance based desktop assessment of the development proposal.

The potential, actual and perceived heritage impacts stemming from the development proposal have been assessed with reference to the following:

- a) Clause 5.10 and Schedule 5 of the *Parramatta Local Environmental Plan 2023*.
- b) Part 7 of the *Parramatta Development Control Plan 2023*.
- c) '*Better Placed – Design Guide for Heritage*' (NSW Government Architect, 2019).
- d) The Heritage Council of NSW evaluation and assessment criteria as set out in '*Guidelines for preparing a Statement of Heritage Impact*' (Department of Planning and Environment, 2023).

2.4 Authorship

This Heritage Impact Statement has been prepared by Holly Challenger B.A., M.Herit.Cons., Heritage Consultant. The report has been reviewed and endorsed by Michael Edwards B.Env.Plan M.Herit.Cons., M.ICOMOS, JP, Director & Principal Heritage Consultant and Advisor

Ms Challenger has combined skills and experience in history, heritage management and conservation practice, which reinforces her well-rounded, balanced approach to effective research and conservation theory and practice.

Mr Edwards has over 17 years extensive experience in both the heritage conservation and town planning disciplines and has held previous positions in Local and State Government. Mr Edwards has previously worked with the former Heritage Division of the NSW Office of Environment and Heritage and is currently Heritage Advisor to Cessnock City Council, Georges River Council and Wingecarribee Shire Council.

2.5 Limitations

This Heritage Impact Statement:

- Considers the site, external structures and internal rooms and spaces that were visually and physically accessible by EHC on the day of the inspection.
- Is limited to the investigation of the non-Aboriginal cultural heritage of the site. Therefore, it does not include any identification or assessment of Aboriginal significance of the place.
- Is limited to a due-diligence archaeological assessment only and does not present a detailed archaeological assessment of the site.
- Does not provide a structural assessment or advice. Subsequently, this report should be complemented by advice from a Structural Engineer with demonstrated heritage experience.
- Does not provide a detailed assessment of the provisions of the *Parramatta Development Control Plan 2023*, but considers the development controls and requirements relating to the development of heritage items.

2.6 Terminology

The terminology used throughout this report is consistent with the *NSW Heritage Manual* and the Australia ICOMOS *Burra Charter* (2013).

A glossary of common terms used is listed in Appendix A.

2.7 Physical evidence

A visual examination of the site and the surrounding area was undertaken on 23 May 2024. All contemporary aerial and site photography used in Section 2 of this report was captured by EHC at this time, unless otherwise credited.

3.0 SITE ASSESSMENT

3.1 Location and context

The subject site is situated within the Parramatta City Council local government area and in the locality of Eastwood, which is 17 kilometres northwest of Sydney city. The subject site comprises Lot 7 in Deposited Plan 7004, commonly known as 8 Valley Road, Eastwood.

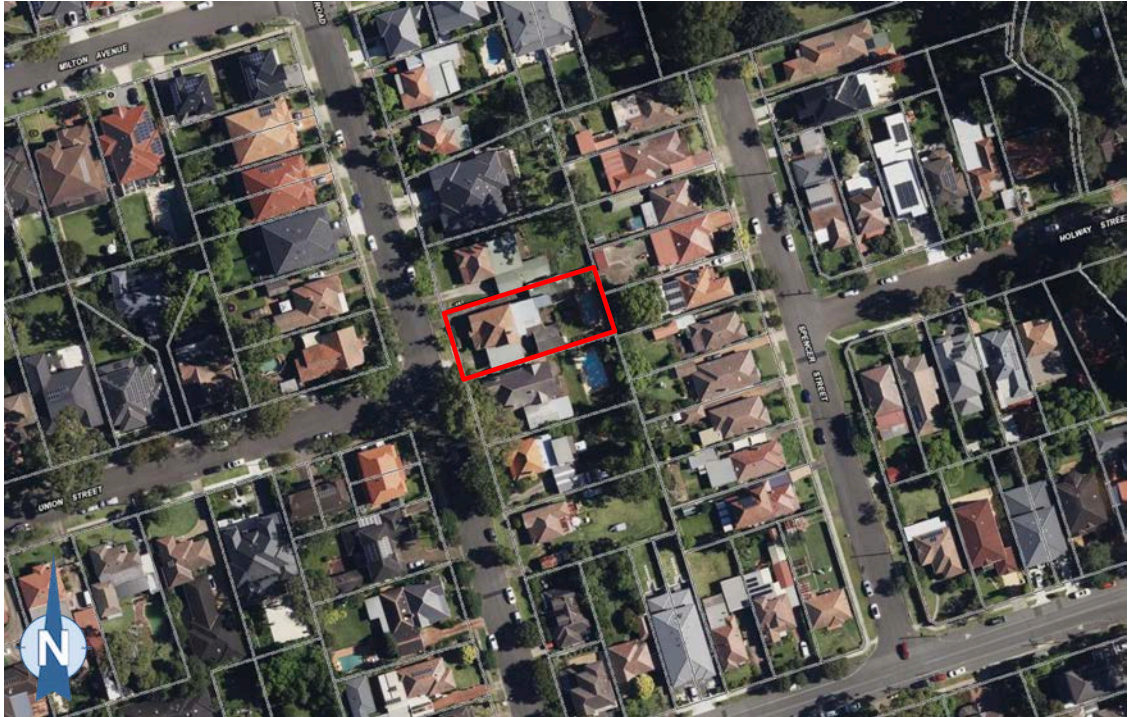


Figure 1: Aerial view of the locality. The subject site is denoted by red outline.
[Source: NSW Land and Property Information, with EHC overlay, 2024]

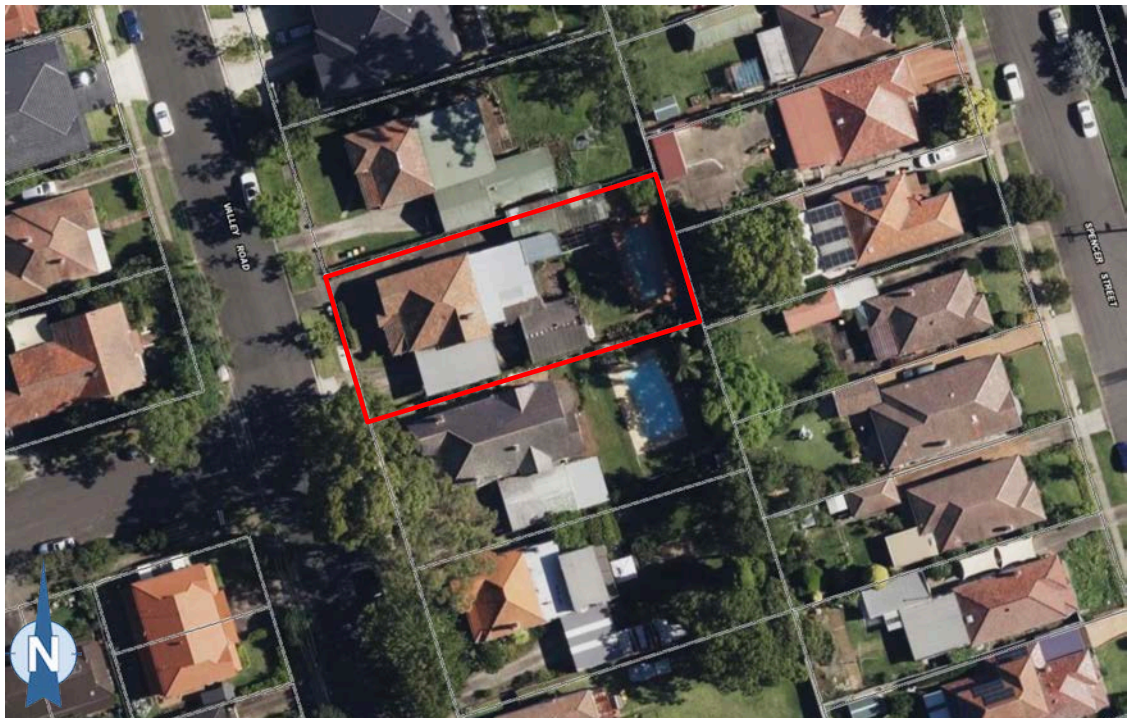


Figure 2: Aerial view of the subject site (denoted by red outline).
[Source: NSW Land and Property Information, with EHC overlay, 2024]

3.2 The subject site

The subject site is located on the northeastern side of Valley Road and is situated within an established urban streetscape, which is largely characterised by detached-style residential housing.

The site has a mostly rectangular shape, with a wide frontage to Valley Road. It comprises an area of 921sqm, and the land gently slopes down towards the rear of the site.

The site is adjoined to the north, south, east and west by single and double-storey detached-style dwelling houses.



Figure 3: View of the subject site from Valley Road.

3.3 Description of the exterior

Situated on the site is a single-storey detached-style dwelling house that is oriented to sit perpendicular to and have its primary frontage to Valley Road. The footprint of the original dwelling is predominantly square in form, though alterations and additions at the rear and to the southeastern portion of the site have altered the footprint to appear as an elongated 'L-shaped' form.

The dwelling is of masonry construction, utilising redbrick and contrasting brown brick quoins at the front elevation, transitioning to common bricks on the side and rear elevations. The front elevation is tickpointed and features a contrasting brown brick lintel and detailing around the front door.

The roof form is hipped and clad in terracotta tiles, featuring gooseneck finials at the apex. There is a projecting gable addressing Valley Road with a stuccoed render apex, and an additional smaller gable acting as an entrance portico with timber battens in the apex. There is an intersecting gable addressing the southeastern elevation. There is a masonry chimney protruding through the roof forms on the southern facing roof plane.

The front elevation is asymmetrically composed, featuring a single-leaf timber entrance door with transom light, opening onto a small verandah that sits beneath a skillion roof, extending from the main roof form. The verandah is delineated by a low-height fence with masonry piers and timber fretwork panels in between and is supported by timber posts.

The rear elevation of the dwelling is characterised as a new addition. Due to the gentle decline in topographical landscape, the rear addition is two-storeys, accommodating an under-house storage area on the ground floor.

Sitting to the south of the dwelling is an attached carport, delineated by a skillion roof structure clad in corrugated sheet metal. Located behind this structure is an additional detached single-storey brick building that is utilised as a rumpus room.

Fenestration around the front and southern elevations are triple panelled windows, characterised as two casement windows on each side and one fixed window in the centre. Each windowpane has a four-panelled leadlight above, with red and green coloured glass squares.

The definitive framework for identifying architectural styles within Australia is that developed by Apperly, Irving and Reynolds in *'Identifying Australian Architecture: Style and Terms from 1788 to the Present'*. The authors provide a perceptive account of what constitutes and defines a style. Mostly concerned with 'high' or 'contrived' architectural styles, rather than the 'popular' styles or the vernacular, it is accepted that the boundaries between identified styles are not always clear-cut.

Subsequently, the terminology for a style and the framework to be applied in defining the style, comprises two parts, firstly identifying the period in which the building belongs and secondly describing the major characteristics.

In this manner, the dwelling displays characteristics that are attributed to the Federation period of the early 20th century and of the Federation Bungalow architectural style.



Figure 4: View of the front elevation of the dwelling.



Figure 5: View of the dwelling from Valley Road,



Figure 6: View of the entrance portico.



Figure 7: Detail view of the front window set.

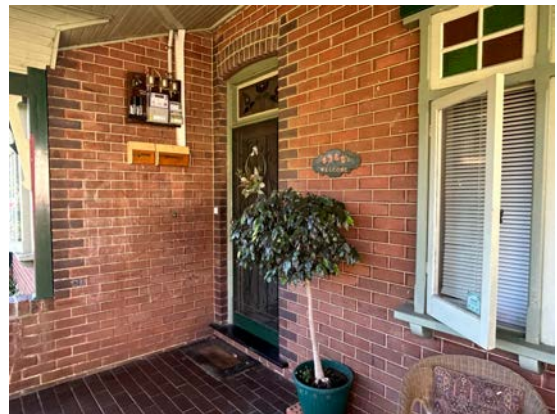


Figure 8: View of the main entryway.



Figure 9: View of southern elevation and carport.



Figure 10: View the southern elevation windows.



Figure 11: View of the northern elevation.



Figure 12: View of the rear elevation.

3.4 Description of the interior

The interior of the main form of the dwelling consists of six rooms, each centred off from the main hallway running from the front door. The hallway is flanked on either side by three bedrooms and a larger master bedroom. There is a marble chimneybreast located in the master bedroom.

The hallway then opens up to an open-plan living and dining room, with the kitchen extending to the southeast and the bathroom accessible from the northwest. Adjacent to the bathroom is a small staircase, providing access to the under-house storage area/laundry and the rear yard. Additionally, the existing balcony accessed from the living room provides access to the rear yard via a staircase.

There is a detached rumpus room on the southeastern portion of the site that was not inspected.

Walls are largely finished in set plaster and fibro sheeting, with decorative moulded ceilings and architraves in the hallway and bedrooms, with timber picture rails and skirting boards. There is visible evidence of cracking plaster throughout the dwelling, however this is particularly noticeable in the bathroom.

Flooring was not inspected but is largely linoleum floor coverings throughout, with fixed carpet floor coverings in the bedrooms.

3.5 Description of the landscape

The subject site comprises an area of approximately 921sqm, with the dwelling being situated toward the centre, creating a shallow landscaped area at the front of the property and a larger landscaped area at the rear.

The general landscaped setting is largely informal in the front and rear yards. The front yard comprises a small grassed area and informal garden beds with a variety of established plantings, with a sinuous brick pathway leading from the front boundary to the front verandah.

The rear yard is similar in language, with a sinuous brick pathway leading from the dwelling to the rear boundary, flanked by grassed lawns, garden beds and potted plants. There is also an in-ground swimming pool in the rear yard.

The north and south portions of the site consist of reinforced concrete driveways. There is a carport on the southern side, and the remnants of a garage on the northern side however only the front façade and roller-door remains.

The property boundaries are defined by Colourbond fence panels.



Figure 25: View of the front garden and pathway.



Figure 26: View of the front garden hedging.



Figure 27: View of the carport and driveway on the southern side.



Figure 28: View of the driveway on the northern side.



Figure 29: View of the swimming pool and pathway in the rear yard.



Figure 30: View of the garden in the rear yard.

3.6 Streetscape contribution

Built c1914, the dwelling forms a part of the early 20th century housing character of Valley Road and is one of a number of detached dwelling houses, which, for the greater part, are characteristic of Valley Road.

The dwelling sits within an established low-density residential streetscape and reinforces the prevailing detached-style housing typology. The dwelling is considered visually distinctive by virtue of the form and architectural style and detailing, and the architectural features distinguish the dwelling from other similar built forms within the street. The visual prominence of the dwelling is amplified owing to the orientation of the site being within the visual terminus of Union Street, making the dwelling a visual 'bookend' to the axial views along Union Street.

The attributes and characteristics of 8 Valley Road, Eastwood makes an important contribution to the cohesive streetscape character and pattern of development, thus contributing to the sensory appeal of the streetscape.

3.7 Integrity and condition

The integrity of a site, in terms of its heritage significance, can exist on a number of levels. For instance, a site may be an intact example of a particular architectural style or period and thus have a high degree of significance for its ability to illustrate that style or period.

Equally, heritage significance may arise from a lack of architectural integrity where the significance lies in an ability to illustrate an important evolution to the building or change in use.

While a detailed structural assessment is beyond the scope of this report, a non-invasive visual inspection of the exterior and interior has been undertaken, which identifies a number of structural and non-structural cosmetic changes that have been undertaken, including the rear addition, changes to the flooring, construction of a carport and garage, construction of an in-ground swimming pool and landscaping changes.

Despite cracking evident throughout the dwelling, particularly in the bathroom as displayed in Section 3.4, the dwelling appears in reasonable repair and condition.

4.0 HISTORICAL CONTEXT

4.1 Introduction

This section attempts to place the site into the context of the broader history of the region as well as outlining the sequence of development, occupation and use of the site.

Analysing and understanding the historical context of the site is an important consideration in the assessment of cultural significance (see Section 7), informing the assessment of historical significance and historical associations of significance.

The history of the site is presented in a narrative form and is mainly derived from the published sources as referenced throughout. The historical analysis also builds on existing extensive publication and research and assumes a prior knowledge of the Aboriginal history of the area.

4.2 Early European exploration and first land grant

The land along the Parramatta riverbank surrounding modern-day Eastwood comprised land grants to eight marines of the NSW Corps between 1790 and 1803. Governor Arthur Phillip granted the land and named the area 'The Field of Mars'.¹ Land grants in the area continued through to the early 19th century. The grants varied in size between thirty to one hundred acres, though many who received the smaller grants were disincentivised to farm the land owing to the minimal output. Rather, these grants were often not taken up by their owners and were traded or sold for profit.

Accordingly, the wealthier residents of the district were able to consolidate the smaller grants to create larger estates and more productive farms. The district had become important for supplying fruit, vegetables and poultry to the colony, though the difficulties of surviving on the smaller lots became prominent.² The government's solution was to create six commons, areas of land available for free use by residents. One such common was the Field of Mars Common, consisting of an area of five thousand and fifty acres.

The subject site has its genesis from a large portion of land consisting of four hundred and twenty-seven acres was granted in 1823 to James Dunlop, Scottish astronomer.³ His parcel of land, known as Portion 76 was located adjacent to the Field of Mars common. Dunlop was born in 1793 in Scotland and began developing an interest in astronomy through an acquaintance with Sir Thomas Brisbane. By 1820, he was appointed assistant astronomer with Carl Rümker at the newly established Parramatta Observatory.⁴

From 1823 to 1826, Dunlop had become entirely in charge of the Parramatta Observatory. Rümker had disagreements with Brisbane and retired from the observatory, however returned when he was gazetted Government Astronomer in 1826. Upon this news, Brisbane returned to Britain and Dunlop decided to return to Scotland. It was not until Rümker's death in 1863 that Dunlop returned to Australia after being appointed Superintendent of the Government Observatory at Parramatta.⁵

¹ City of Parramatta, Research & Collections. 'Eastwood – A Brief History'. Accessed 7 June 2024. <<https://historyandheritage.cityofparramatta.nsw.gov.au/blog/2016/10/22/eastwood-a-brief-history>>

² Dictionary of Sydney, 'Marsfield'. Accessed 7 June 2024 <<https://dictionaryofsydney.org/entry/marsfield#:~:text=The%20suburb%20name%20'Marsfield'%20is,through%20part%20of%20modern%20Marsfield.>>

³ NSW Land Registry Services, 2024. PA15786.

⁴ Encyclopedia of Australian Science and Innovation, 'Dunlop, James (1793-1848)'. Accessed 7 June 2024. <<https://www.eoas.info/biogs/P000377b.htm>>

⁵ The Cumberland Argus and Fruitgrowers Advocate, 'Another Great Parramattan'. Saturday 19 August 1911, p9. Accessed 7 June 2024 <<https://trove.nla.gov.au/newspaper/article/85987971>>

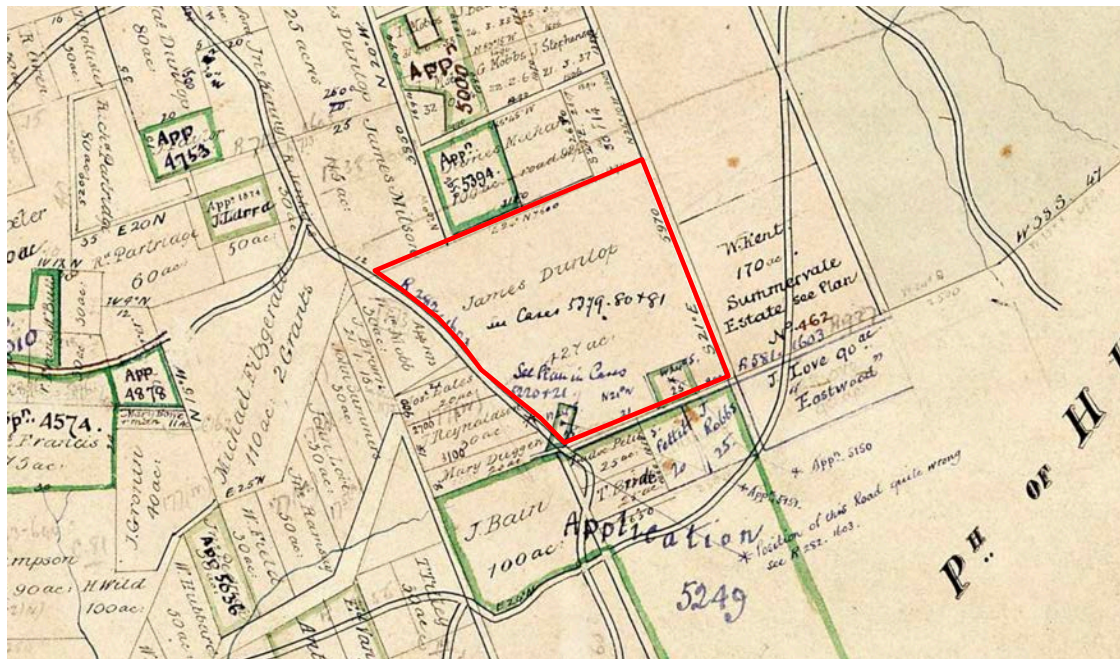


Figure 31: Map showing James Dunlop's grant.
[Source: NSW Land Registry Services, 2024]

The area of Eastwood was covered in dense timber. By 1840, the Field of Mars Common had gained a reputation for harbouring many unsavoury characters, illegal logging, squatting and smuggling. Many residents had decided by this point that the common had no longer fulfilled its original purpose, while others objected to its change as it was 'the peoples land'.⁶ A committee of the NSW Legislative Assembly was established to investigate the issue, though their recommendations were never followed. By 1874, the proposal to resume the common won, and the increasingly population of the district highlighted the need for a direct link via road to the city.

4.3 Development of Eastwood

Eastwood retained its rural nature until the arrival of the railway, linking Strathfield and Hornsby. By mid-1886, the railway bridge across the Parramatta River was finished, and stations began to appear along the line. The station was first named Dundas, though following public protest it was renamed Eastwood.⁷ Following the arrival of the railway, there was an increase in fringe development for residential purposes. This saw large blocks and estates subdivided into smaller residential lots, though these lots were still spacious enough for a tennis court or large garden.⁸

Evidence suggests that Dunlop's grant was also split into smaller allotments, with approximately thirty acres having been purchased by Eliza Hughes and two of her sons, Thomas and George Henry, in 1899.⁹

Both sons were orchardists, with Thomas residing in Dundas and George Henry residing in Pennant Hills West. The sons went on to obtain ownership of the site but split the landholdings in 1910, with each son retaining approximately half. Thomas' portion consisted of fourteen acres and thirty-one perches, and George Henry's land consisted of thirteen acres, two roods and thirty-one perches.¹⁰

⁶ Dictionary of Sydney, 'Marsfield'. Accessed 7 June 2024.
<<https://dictionaryofsydney.org/entry/marsfield#:~:text=The%20suburb%20name%20'Marsfield'%20is,through%20part%20of%20mo dern%20Marsfield.>>

⁷ Frances Pollon, 1983. 'Parramatta: the Cradle City of Australia', *Suburbs North East of Parramatta*, p.338.

⁸ City of Parramatta, Research & Collections. 'Eastwood – A Brief History'. Accessed 7 June 2024.
<<https://historyandheritage.cityofparramatta.nsw.gov.au/blog/2016/10/22/eastwood-a-brief-history>>

⁹ NSW Land Registry Services, 2024. PA15786.

¹⁰ NSW Land Registry Services, 2024. Vol.2102 Fol.86 & Vol.2070 Fol.119.

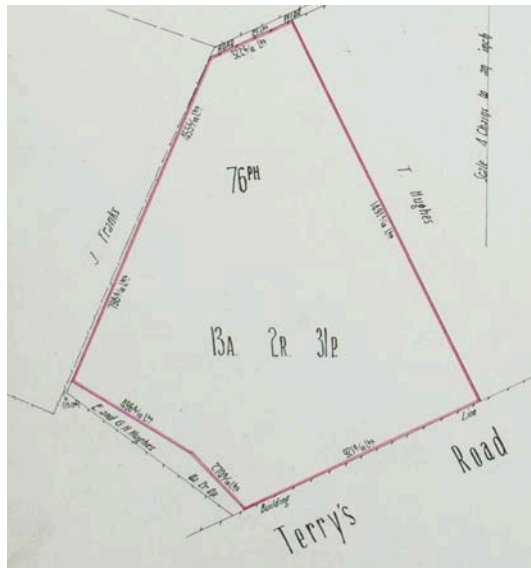


Figure 32: Plan showing George Henry Hughes' portion of land. [Source: NSW Land Registry Services, 2024. Vol.2070 Fol.119]



Figure 33: Plan showing Thomas' portion of land. [Source: NSW Land Registry Services, 2024. Vol.2102 Fol.86]

The development of Eastwood was slowly progressing during this time, with shops, churches, schools and community buildings popping up in the locality, prompting the need for further subdivision and residential dwellings.¹¹

During the Hughes' course of ownership of the sites, it is presumed that the land was used mainly for orcharding purposes, as there is no evidence of any built forms having been constructed at this time. The Hughes brothers' landholdings were consolidated back to the original singular allotment in 1913, consisting of twenty-seven acres, three roods and one perch. The landholdings were sold to tenants in common David Moore Anderson (Auctioneer), Charles Robert Summerhayes (Architect) and Alexander Melville (Freeholder), indicating the impending subdivision and subsequent construction of dwellings on the site.¹²

The subdivision occurred shortly after the transfer of ownership, in early 1913 and a new Deposited Plan lodged with the NSW Land Titles Office. The subdivision plan of the estate laid out new street patterns and created eighty-two new allotments, each ranging in size though most were consistent rectangular lots.

The 'Signal Hill Estate' auction was held on Saturday the 1st March, 1913 at 3pm. The auction of the Torrens Title lots was held by Richardson & Wrench Ltd, in conjunction with D.M Anderson. The lots were advertised as being 10 minutes from the railway station and having access to city water. The terms of sale were a £5 deposit per lot, with the balance paid by monthly payment extending over five years.

This subdivision formalised the current boundaries of the subject site, with the site now being known as Lot 7 within Deposited Plan 7004.¹³ Lot 7, consisting of thirty-five and three-quarter perches was sold in 1914 to Hugh McLeod, a builder from Ashfield. It is postulated that the subject dwelling was constructed at this time.

¹¹ Dictionary of Sydney, 'Eastwood'. Accessed 7 June 2024. <<https://dictionaryofsydney.org/entry/eastwood>>

¹² NSW Land Registry Services, 2024. Vol.2361 Fol. 200, 201 and 202.

¹³ NSW Land Registry Services, 2024. Vol.2449 Fol.241



Figure 34: Subdivision plan of the Signal Hill Estate.
[Source: State Library NSW, 2024. Call No. Z/SP/E3/4]

Lot 7 was then subsequently sold to Amy Jane Melville, wife of Alexander Melville, Estate Agent.¹⁴ Melville was one of the tenants in common who subdivided the site, thus it is postulated that likely due to the slow in property sales owing to World War I the subject site did not sell.

4.4 The subject site to the present day

The first official sale of the subject site was in July 1920, when it was purchased by William Edmond Jupe and his wife, Isabella who resided at the subject site for many years. William died in 1948, however Isabella continued to retain sole ownership of the site until her own death in May 1964.¹⁵ The site was then inherited by William and Isabella's sons, William George and George James.



Figure 35: Historical image of the subject site, c.1943.
[Source: NSW Land Registry Services, 2024]

William and George subsequently sold the site the following month after obtaining ownership. The site was transferred to Colin Reinhard Hespe and his wife De'Ann Marion Hespe in June 1964, who similarly retained ownership for over 30 years.¹⁶ The site was sold most recently in 2014 when ownership transferred to the current owners.

¹⁴ NSW Land Registry Services, 2024. Vol.2449 Fol.241

¹⁵ Ibid

¹⁶ NSW Land Registry Services, 2024. Vol.14346 Fol.81

5.0 HERITAGE LISTING STATUS

5.1 Introduction

Identification of the statutory and non-statutory heritage listings applicable to the subject site is as follows:

5.2 Statutory and non-statutory heritage listings

Statutory lists

The site **is** identified as an item of local heritage significance ('Hughes Road Group (Valley Road)' Item No.155), listed under Schedule 5 of *Parramatta Local Environmental Plan 2023*.

The site **is not** located within a Heritage Conservation Area listed under Schedule 5 of *Parramatta Local Environmental Plan 2023*.

Non-statutory lists

The subject site **is not** identified on any non-statutory heritage lists or registers.

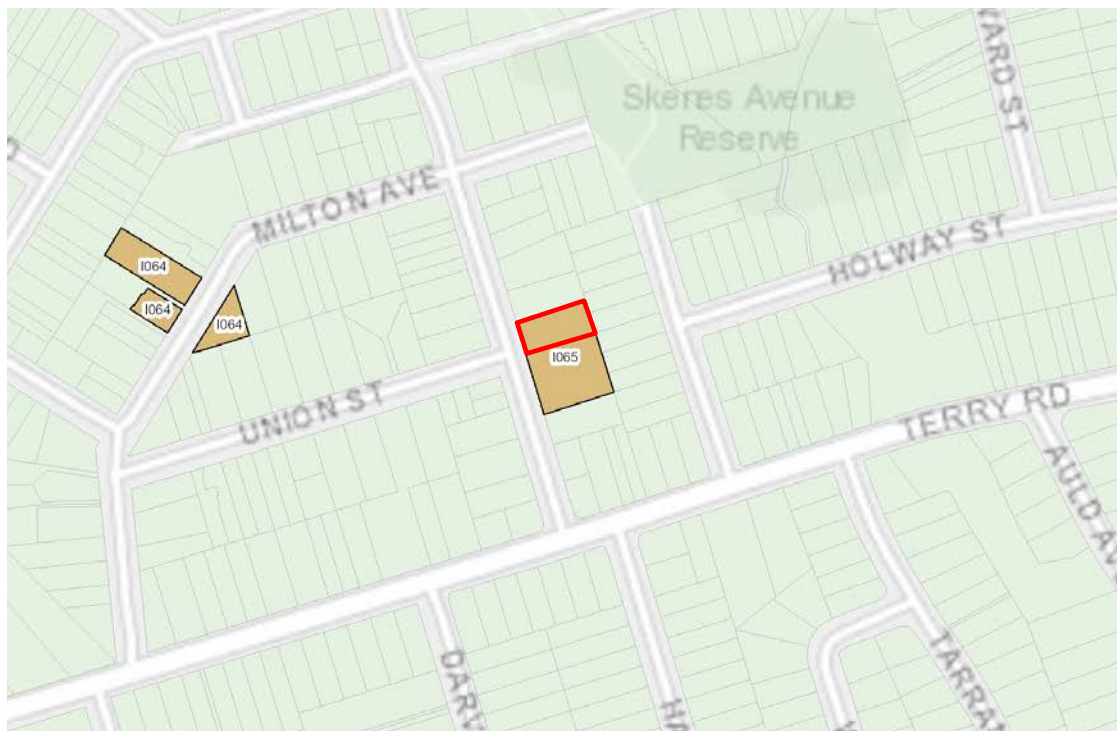


Figure 36: Map showing the heritage status of the subject site and surrounding allotments. The subject site is denoted by red outline. [Source: Parramatta LEP 2023, Digital Mapping Tool with EHC overlay]

5.3 Items of heritage significance within the vicinity of the site

For the purposes of this heritage impact assessment, the term 'in the vicinity' is taken to be any item or items that:

- i) Are within an approximate 100m radius of the boundaries of the subject site.
- ii) Have a physical relationship to the subject site i.e. adjoin the property boundary.
- iii) Are identified as forming a part of a group i.e. a row of terrace houses.
- iv) Have a visual relationship to and from the site; or
- v) Are a combination of any of the above.

In applying the above criteria, there are no items of local heritage significance (listed under Schedule 5 of *Parramatta Local Environmental Plan 2023*) within the vicinity of the subject site.

There are no items of state heritage significance (listed on the State Heritage Register (SHR) under the *Heritage Act 1977*) within the vicinity of the subject site.

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6.0 EXISTING HERITAGE SIGNIFICANCE ASSESSMENTS

6.1 Existing description of the heritage item

The citation on the NSW State Heritage Inventory (SHI No.I55) provides a physical description of 'Hughes Road Group (Valley Road)' as follows:

'The group consists of three single storey brick houses in a row, Nos. 4, 6 ("Araluen") and 8 (unpainted). Each house has a hipped roof with projecting gable with stucco in apex and timber strap work. There are two chimneys on each house, of stepped brick, with squat terracotta pots. Roofing of Nos. 4 and 8 is terracotta tiles, while No. 6 has slate roof on painted tuck pointed red brick walls. Verandahs are skillion, extending from main roof, across front to projecting gable (and with hip corners on Nos. 4 and 8). Verandah floors are concrete, verandah supports of pipe posts (No. 4) and timber (Nos. 6 and 8). Verandah Decoration is simple, (No. 4: missing), Nos. 6 and 8 have reconstructed timber lattices. Skillion awnings with shingled roofs on ladder brackets are above windows. No. 4 also has wrought iron ladder balustrade, low brick fence with brick coping and dentils below, and a wrought iron gate. Additions include skillions at rear. Front doors have transom lights above timber doors with three glazed panes above two bolection mould vertical panels.'

6.2 Existing statement of cultural significance

The citation on the NSW State Heritage Inventory (SHI No.I55) provides a statement of cultural significance of 'Hughes Road Group (Valley Road)' as follows:

'The group of houses at 4, 6 and 8 Hughes Road is of significance for the local area for historical and aesthetic reasons, and as a representative example of quality residences of the Federation period in the area. The houses, built c. 1910, make an important contribution to the area character, enhanced by the similarities in age, design, use and materials.'

7.0 ASSESSMENT OF CULTURAL SIGNIFICANCE

7.1 Methodology

The assessment of cultural significance follows the methodology recommended in *Assessing Heritage Significance*¹⁷ by using the NSW Heritage Assessment Criteria and is consistent with the guidelines as set out in the *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) 2013*¹⁸.

An item, place or object will be considered to be of heritage significance if it meets at least one or more of the following criteria:

TABLE 2 – Significance Assessment Criteria		
Criterion:	Significance theme:	Explanation:
(a)	Historical	An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).
(b)	Historical association	An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).
(c)	Aesthetic	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).
(d)	Social	An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.
(e)	Technical / Research	An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).
(f)	Rarity	An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).
(g)	Representative	An item is important in demonstrating the principal characteristics of a class of NSW's (or the local area's) cultural or natural places or cultural or natural environments.

It is important to note that only one of the above criteria needs to be satisfied for an item or place to be considered to have heritage significance. Furthermore, an item or place is not excluded from being considered to have heritage significance because other items with similar characteristics have already been identified or listed.

7.2 Assessment against NSW Heritage Assessment Criteria

7.2.1 Criterion (a) – historical significance

An item or place is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 3 – Criterion (a) – historical significance			
Guidelines for inclusion	✓/✗	Guidelines for exclusion	✓/✗
• Shows evidence of a significant human activity.	✓	• Has incidental or unsubstantiated connections with historically important activities or processes.	✓
• Is associated with a significant activity or historical phase.	✗	• Provides evidence of activities or processes that are of dubious historical importance.	✗
• Maintains or shows the continuity of a historical process or activity.	✓	• Has been so altered that it can no longer provide evidence of a particular association.	✗

¹⁷ NSW Department of Planning and Environment, 2023. 'Assessing Heritage Significance – Guidelines for assessing places and objects against the Heritage Council of NSW criteria'.

¹⁸ Australia ICOMOS, 2013. 'Burra Charter'.

Assessment of significance

- Built c1914, 8 Valley Road, Eastwood has historical value at the local level, providing evidence of the early 20th century domestic housing forms in the locality of Eastwood, demonstrating the evolution of the wider Parramatta LGA and contributing to the understanding of the pattern of development, particularly when viewed with similarly styled dwellings at Nos. 4 and 6.
- The dwelling is of historical importance as it is an intact example of a Federation era dwelling that was constructed due to the increased need of development within the locality, providing evidence of the associated urban development in the district.

8 Valley Road, Eastwood satisfies this criterion in demonstrating historical significance at a local level.

7.2.2 Criterion (b) – historical association significance

An item or place has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 4 – Criterion (b) – historical association significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Shows evidence of a significant human occupation.	X	• Has incidental or unsubstantiated connects with historically important people or events.	✓
• Is associated with a significant event, person or group of persons.	X	• Provides evidence of people or events that are of dubious historical importance.	✓
		• Has been so altered that it can no longer provide evidence of a particular association.	✓

Assessment of significance

- The subject site forms part of the original portion of land granted to James Dunlop, which portions of were later purchased by Eliza Hughes. Any associations with Dunlop and the Hughes family are only evidenced through documentary sources and are of dubious historical associative significance.
- The subject dwelling was constructed c.1914 after the Signal Hill Estate was auctioned off in 1913. The site has undergone few changes in ownership since the construction of the dwelling, and was purchased by the current owners in 2014. There is nothing in the fabric of the dwelling that demonstrates an association with any previous owners, and such associations are equally considered of dubious historical associative significance.

8 Valley Road, Eastwood does not satisfy this criterion in demonstrating historical associative significance.

7.2.3 Criterion (c) – aesthetic significance

An item or place is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).

TABLE 5 – Criterion (c) – aesthetic significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Shows or is associated with, creative or technical innovation or achievement.	X	• Is not a major work by an important designer or artist.	✓
• Is the inspiration for a creative or technical innovation or achievement.	X	• Has lost its design or technical integrity.	X
• Is aesthetically distinctive.	✓	• Its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded.	X
• Has landmark qualities.	X	• Has only a loose association with a creative or technical achievement.	X

• Exemplifies a particular taste, style or technology	X		
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Assessment of significance

- 8 Valley Road, Eastwood displays a concerted effort to enhance and contribute to the sensory appeal of the streetscape through the style and language of a Federation period dwelling, displaying features and characteristics attributed to the Federation bungalow architectural style.
- The subject dwelling has been modified through the extension at the rear of the site, and internally. These additions have distorted the original form, however the original footprint and detailing is still able to be read and appreciated. Accordingly, the subject site remains aesthetically distinctive within the streetscape, particularly when viewed with Nos. 4 and 6 that display similar detailing.

8 Valley Road, Eastwood satisfies this criterion in demonstrating aesthetic significance at a local level.

7.2.4 Criterion (d) – social significance

An item or place has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.

TABLE 6 – Criterion (d) – social significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Is important for its associations with an identifiable group.	X	• Is only important to the community for amenity reasons.	✓
• Is important to a community's sense of place.	X	• Is retained only in preference to a proposed alternative.	✓

Assessment of significance

- Erected in the early 20th century as a private dwelling house, the dwelling retains its long-established residential use.
- Apart from the esteem and value in which the dwelling is held by current and former owners / occupiers, there is no evidence to suggest that the dwelling has any present direct or indirect associations with a particular community or cultural group for social, cultural or spiritual reasons.

8 Valley Road, Eastwood does not satisfy this criterion in demonstrating social significance.

7.2.5 Criterion (e) – technical / research significance

An item or place has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 7 – Criterion (e) – technical / research significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Has the potential to yield new or further substantial scientific and/or archaeological information	X	• The knowledge gained would be irrelevant to research on science, human history or culture.	✓
• Is an important benchmark or reference site or type.	X	• Has little archaeological or research potential.	✓
• Provides evidence of past human cultures that is unavailable elsewhere.	X	• Only contains information that is readily available from other resources or archaeological sites.	✓

Assessment of significance

- Erected c.1914 as a private dwelling house, 8 Valley Road displays a concerted effort to contribute to the immediate streetscape and broader locality of Eastwood. Historical and archival research of the site reveals that there were no built improvements located on the site prior to the subject dwelling, whereby the technical/research potential is low.
- The building is not considered an important benchmark or reference site, containing information and evidence that is readily available elsewhere.

8 Valley Road, Eastwood does not satisfy this criterion in demonstrating technical / research significance.

7.2.6 Criterion (f) – rarity

An item or place possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).

TABLE 8 – Criterion (f) – rarity significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Provides evidence of a defunct custom, way of life, or process.	X	• Is not rare.	✓
• Demonstrates a process, custom or other human activity that is in danger of being lost.	X	• Is numerous but under threat.	✓
• Shows unusually accurate evidence of a significant human activity.	X		
• Is the only example of its type.	X		
• Demonstrates designs or techniques of exceptional interest.	X		
• Shows rare evidence of a significant human activity important to the community	X		

Assessment of significance

- Built c.1914, the dwelling at 8 Valley Road, Eastwood is attributed to the Federation period of the early 20th century. The dwelling, whilst contributing to the aesthetic appeal of the streetscape, is not considered rare within the context of the street or the locality, where there are a number of other examples of dwellings that are attributed to the same style and class of building.
- The subject dwelling is an intact example of a Federation Bungalow styled dwelling, though this architectural style is not considered rare or under threat.

8 Valley Road, Eastwood does not satisfy this criterion in demonstrating significance through the item's rarity.

7.2.7 Criterion (g) – representativeness

An item or place is important in demonstrating the principal characteristics of a class of NSW's:

- Cultural or natural places; or
- Cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments.).

TABLE 9 – Criterion (g) – representative significance			
Guidelines for inclusion	✓/X	Guidelines for exclusion	✓/X
• Is a fine example of its type.	✓	• Is a poor example of its type.	X
• Has the principal characteristics of an important class or group of items.	✓	• Does not include or has lost the range of characteristics of a type.	X
• Has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity.	✓	• Does not represent well the characteristics that make up a significant variation of a type.	X

• Is a significant variation to a class of items.	X		
• Is part of a group which collectively illustrates a representative type.	X		
• Is outstanding because of its setting, condition or size.	X		
• Is outstanding because of its integrity or the esteem in which it is held.	X		

Assessment of significance

- Built c.1914, the dwelling at 8 Valley Road, Eastwood is an intact example of a Federation period dwelling of the early 20th century. Grouped with similarly styled dwellings at Nos 4 and 6, the group is representative of this class and style of building.
- The building retains a high degree of design integrity, despite previous accretions and alterations and additions. Despite the changes, the overall footprint and silhouette of the original form is able to read and appreciated, with the group of Nos. 4, 6 and 8 providing evidence of the early 20th century urban development.

8 Valley Road, Eastwood satisfies this criterion in demonstrating representative significance at a local level.

7.3 Level of significance

Table 10 below summarises the assessed level of significance against each criterion for assessing heritage significance:

TABLE 10 – Assessed levels of significance	
Criterion	What is the assessed level of significance?
Criterion (a) – historical significance	LOCAL
Criterion (b) – historical association significance	Does not satisfy criterion
Criterion (c) – aesthetic significance	LOCAL
Criterion (d) – social significance	Does not satisfy criterion
Criterion (e) – technical / research significance	Does not satisfy criterion
Criterion (f) – rarity significance	Does not satisfy criterion
Criterion (g) – representativeness significance	LOCAL
Overall assessed level of cultural significance	LOCAL

7.4 Statement of cultural significance

8 Valley Road, Eastwood provides evidence of the continuing residential and urban development of the broader Eastwood locality. Constructed c.1914, the dwelling is attributed to the housing stock of the early 20th century Federation period, and of the Federation Bungalow architectural style. The dwelling has historical significance at the local level, providing evidence of the early permanent residential settlement of the area. The dwelling has a strong and important association with the dwellings at Nos. 4 and 6 Valley Road, forming part of a cohesive group of houses which display the associated pattern of urban development in the Eastwood locality.

The subject dwelling and the wider group of dwellings at Nos. 4 and 6 display a concerted effort to positively contribute to the sensory appeal of the streetscape and broader locality. The footprint and form of the original dwelling can be read and appreciated, despite previous accretions and additions to the dwelling. Overall, the dwelling is considered to have aesthetic significance at the local level.

The dwelling retains a fair degree of design integrity, largely imbued in the original front portion of the site. Despite the changes, the overall silhouette is retained and the group of dwellings at Nos. 4, 6 and 8 are good representative examples of early 20th century dwellings.

8.0 DEVELOPMENT PROPOSAL

8.1 Plans & drawings referenced

This Heritage Impact Statement provides an assessment of the development proposal as shown on the following plans and drawings:

TABLE 11 – Plans & drawings referenced				
Drawing No:	Revision:	Title:	Dated	Prepared by:
7/7004	1	Detail and Level Survey	10.02.2024	NCAFSURVEY Pty Ltd
0.0	D1	Cover Sheet	02.05.2024	ADEXT Architects
1.0		Site Plan		
1.1		Landscape Plan		
2.0		Lower Ground Floor – Demolition		
2.1		Lower Ground Floor Plan		
2.2		Upper Ground Floor - Demolition		
2.3		Upper Ground Floor Plan		
2.4		Roof – Demolition		
2.5		Roof Plan		
5.0		Elevation – West		
5.1		Elevation – East		
5.2		Elevation – North		
5.3		Elevation – South		
6.0		Section		
9.0		GFA Calculations		
9.1		Building Area Calculations		
10.0		Schedules		
11.0		3D View		
11.1		3D View		
11.2		3D View		
11.3		3D View		

8.2 Description of the proposal

The development proposal seeks the consent of Parramatta City Council for the alterations and additions to the existing dwelling house.

The objective of the proposal is to accommodate additional habitable floor area to improve occupant amenity and to consolidate and rationalise the various previous accretions to the dwelling, whilst achieving a more effective internal spatial arrangement.

To achieve this, the proposal involves partial demolition works to the existing dwelling, limited to fabric that forms part of a later addition to the site. This includes the existing living and dining room, bathroom, balcony and under-house storage areas, and a portion of the northern and eastern walls of the rumpus room.

Following the partial demolition works, the proposal will then involve the construction of the new addition at the rear of the site, both on the ground floor and upper ground floor levels. The proposal will accommodate a self-contained area on the ground floor, with its own kitchen, bathrooms, living spaces, and deck, whilst linking the new addition with the existing rumpus room. The upper ground floor will accommodate two new bathrooms, a larger master bedroom and ensuite, a larger entertainment area and balcony.

The heritage impacts of the above-described proposal are considered in detail in the ensuing sections of this report.

9.0 ASSESSMENT AGAINST STATUTORY PLANNING AND HERITAGE CONTROLS

9.1 Heritage Act 1977

The *Heritage Act 1977* provides statutory protection for items of state heritage significance that are listed on the State Heritage Register (SHR).

9.1.1 State Heritage Register

The SHR is established under Section 22 of the *Heritage Act 1977* and is a register of items, places, collections, and objects that have been identified as having significance and importance to the people of NSW. Items listed on the SHR can be in either private or public ownership.

The subject site is not identified as an item of state heritage significance and is not listed on the SHR.

9.1.2 Archaeological relics and works

The *Heritage Act 1977* provides protection for 'relics', which can include archaeological material or deposits. A 'relic' is defined under Section 4(1) of the *Heritage Act 1977* as meaning:

'any deposit, artefact, object or material evidence that:

- (a) Relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and*
- (b) Is of State or local heritage significance'.*

In difference to 'relics', items identified as 'works' do not trigger reporting obligations under the *Heritage Act 1977*, unless they are associated with artefacts and / or assessed to be of state or local significance.

'Works' generally include:

- Former road pavements, including kerb and guttering.
- Building footings associated with former structures where there are no historical artefacts in association with the item.

9.2 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (EPA&A 1979) establishes the framework for land-use planning and management within NSW and includes provisions that require cultural heritage values to be formally considered and assessed in land-use planning and the development assessment processes.

Section 4.15 of the *EPA&A 1979* prescribes that environmental impacts on the built and natural environment must be considered in the land-use planning and development assessment process. This extends to considering the impacts on cultural heritage items and places as well as landscapes and archaeological sites or deposits.

Furthermore, the *EPA&A 1979* prescribes that local Councils are required to prepare environmental planning instruments (such as a Local Environmental Plan) to provide for the identification and statutory protection of items of heritage significance (including heritage items, Heritage Conservation Areas or archaeological sites).

9.2.1 Parramatta Local Environmental Plan 2023

Clause 5.10 of the *Parramatta Local Environmental Plan 2023* establishes the statutory framework for heritage conservation and the management of heritage items, heritage conservation areas and archaeological sites (both Aboriginal and non-Aboriginal).

The provisions specify circumstances where development consent is and is not required, together with specifying statutory requirements and key considerations for the Consent Authority.

In assessing development proposals relating to listed items of heritage significance or involving development on land situated within a Heritage Conservation Area, Council as the Consent Authority, must consider the impacts of the proposed works on the heritage item and / or Heritage Conservation Area (clause 5.10(4)).

The ensuing heritage impact assessment considers in detail what impact the proposed development will have on the established cultural significance and heritage values of the subject site, together with listed items of heritage significance and Heritage Conservation Areas within the vicinity of the site (as identified in Section 5.3).

Consistency with the objectives and provisions of clause 5.10 of the *Parramatta Local Environmental Plan 2023* is demonstrated in Section 10.3 of this report.

9.2.2 Parramatta Development Control Plan 2023

Part 7 of the *Parramatta Development Control Plan 2023* ('the DCP'), contains performance-based controls that relate to the development of heritage items, development within the vicinity of a heritage item, or development within a heritage conservation area.

These development controls seek to ensure that new development is appropriately designed, contextually responsive and sympathetic to the heritage values and significance of an item or place.

The proposed development has been considered against the development guidelines of the DCP and consistency is demonstrated in the ensuing heritage impact assessment.

10.0 HERITAGE IMPACT ASSESSMENT

10.1 Overview to the impact assessment

This section of the report assesses the impacts of the proposed works or activity on the heritage values and significance of the site

The impact assessment is based upon the Statement of Significance (refer to Section 7.4 above); available physical and documentary evidence including a visual inspection of the site and statutory planning requirements.

Within this approach, the objective of a heritage impact assessment is to evaluate and explain how the proposed works or activity will affect the heritage values and imbued significance of the site and/or items and places of heritage significance within the vicinity of the site.

The *NSW Heritage Manual* (Heritage Council of NSW, 2001) and '*Guidelines for preparing a statement of heritage impact*' (Department of Planning and Environment, 2023) have developed a series of evaluation criteria for assessing the likely impact of a proposed development on the heritage significance of listed heritage items or heritage conservation areas¹⁹, which are listed below and considered in the ensuing statement of heritage impact.

In order to consistently identify the impact of the proposed works or activity, the terminology used throughout the ensuing statement of heritage impact is set out in the following table. The terminology and definitions use are based on those contained in various guidelines produced by the International Council on Monuments and Sites (ICOMOS) and the *Material Threshold Policy* of the Heritage Council of NSW.

TABLE 12 – Levels of Impact		
Grading		Definition
Negative	Adverse	<p>Actions that would have an adverse, permanent and irreversible impact on the identified values and significance.</p> <p>Actions would remove or destroy key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place.</p> <p>The impact of such actions cannot be fully mitigated.</p>
	High	<p>Actions that would have a long-term and high impact on the identified values and significance.</p> <p>Actions would remove, destroy or substantially alter key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place.</p> <p>The impact of such actions can potentially be reduced through appropriate mitigation measures.</p>
	Moderate	<p>Actions that would have a long term and moderate impact on the identified values and significance.</p> <p>Actions would remove, destroy or substantially alter key elements that define the place and would result in a permanent change to the historic character, authenticity, values and significance of the place.</p> <p>Actions can be partially mitigated.</p>
	Minor	<p>Actions that would result in minor impacts that do not diminish or obscure the identified heritage values and significance.</p> <p>Actions may affect only a small part or component of the place or a distant / small part of the setting / curtilage.</p> <p>These actions can usually be easily and appropriately mitigated or may be temporary and / or reversible.</p>

¹⁹ NSW Heritage Branch, '*Heritage Impact Statements – Some questions to be answered in a Statement of Heritage Impact and Supporting Information Required*'.

	Low / Negligible	Actions that would result in very minimal if not, inconsequential heritage impacts.
		Actions can usually be easily and appropriately mitigated or may be temporary and / or reversible.
Neutral	Neutral	Actions that would have no visual or physical heritage impacts.
		Actions do not require any mitigation measures.
Positive	Minor positive	Actions that would bring a minor positive benefit to a heritage item or area of significance.
		Actions can usually be through the reversal of some previous unsympathetic cosmetic changes and will enhance the visual setting and integrity.
		Actions can also include cyclical and preventative maintenance works to safeguard, stabilise and protect significant fabric.
	Moderate positive	Actions that would bring a moderate positive benefit to a heritage item or area of significance.
		Actions can usually be through the removal of previous unsympathetic structural or cosmetic changes that will reinstate missing detail, reinstate original design intent, re-establish views or physical relationships.
		Actions can also include conservation works to safeguard, stabilise and protect significant fabric.
	Major positive	Actions that would bring a major positive benefit to a heritage item or area of significance.
		Actions can usually be through the removal of previous unsympathetic structural or cosmetic changes that will reinstate or reconstruct missing detail, reinstate original design intent, re-establish views or physical relationships.
		Actions can also include conservation works to safeguard, stabilise and protect significant fabric.

10.2 Heritage impact ratings

The following table establishes the anticipated impacts based upon the magnitude of the work or activity relative to the significance of the fabric involved.

TABLE 13 – Heritage Impact Rating							
Significance	Magnitude of the work or activity						
	Impact Rating	Adverse	High	Moderate	Minor	Low	Neutral
	Exceptional	Adverse impact	High impact	High impact	Moderate impact	Minor impact	Negligible impact
	High	High impact	High impact	Moderate impact	Minor impact	Minor impact	Negligible impact
	Moderate	High impact	Moderate impact	Moderate impact	Minor impact	Low impact	Negligible impact
	Low	Moderate impact	Moderate impact	Minor impact	Minor impact	Low impact	Negligible impact
	Neutral	Minor impact	Minor impact	Low impact	Low impact	Low impact	Negligible impact
	Intrusive	Negligible impact	Negligible impact	Negligible impact	Negligible impact	Negligible impact	Negligible impact

The following table establishes the definitions for the types of impact. For instance, some works or activities will have the potential for impacts or will result in impacts. The impact can be direct, i.e. directly in consequence of an action, or indirect, i.e. impacts could be cumulative, compounded, delayed or unexpected.

TABLE 14 – Types of Impact	
Grading	Definition
Direct	Works or activities have a direct visual and / or physical impact on the heritage item or area concerned.
Potential direct	Works or activities have the potential to result in direct visual and / or physical impact on the heritage item or area concerned.
Indirect	Works or activities have an indirect visual and / or physical impact on the heritage item or area concerned.
Potential indirect	Works or activities have the potential to result in an indirect visual and / or physical impact on the heritage item or area concerned.

10.3 Response to the NSW Heritage Manual evaluation criteria

i) Partial demolition of a heritage item (including internal elements)

- *Is the partial demolition essential for the heritage item to function?*

8 Valley Road, Eastwood provides evidence of the continued evolution of the domestic housing development of Eastwood and the surrounding areas, though this evidence is not exclusive to the site. The subject dwelling contributes to the understanding of the early development of the locality during the early 20th century and is considered a good and intact example of the Federation Bungalow architectural style and housing typology.

The proposal seeks to accommodate additional habitable floor area by horizontally increasing the available floorspace and reconstructing the existing extension at the rear of the site. Owing to the previous accretions, alterations and additions to the site, the internal integrity of the rear portion of the dwelling has been distorted though the overall silhouette and language of the dwelling when viewed and appreciated from Valley Road remains largely intact. The purpose of the proposal is to achieve the clients desire to increase floorspace and functionality of the site.

The proposed demolition works are minor in scope and are limited largely to the existing extension at the rear of the dwelling, forming part of a later addition to the site. This includes the storage space under the dwelling and the existing living, dining, bathroom and balcony space at the ground floor level. The removal of these non-significant features is considered essential to enable the proposed alterations and additions to occur, which will in-turn provide for improved occupant amenity without decreasing the significance of the site. The proposal is limited largely to areas that have been previously modified.

The existing form of the dwelling shows evidence of successive alterations through its lifespan. Whilst the dwelling will continue to retain its original footprint and silhouette, the proposed works at the rear will have no adverse impacts to the overall view and established significance of the dwelling, limited to areas and fabric that has no imbued heritage significance. The proposed works are considered acceptable on the basis that no significant fabric will be removed as a part of the works, and previous accretions will be consolidated and rationalised.

- *Are important features and elements of the item affected by the demolition (e.g. fireplaces in buildings)?*

The proposed partial demolition will respect and retain all important features and elements, including existing windows, joinery, masonry, moulding that are currently present in the front portion of the dwelling. The proposed demolition works are limited to the rear of the site, forming part of a later addition. The current alterations and additions at the rear of the dwelling have low retention value, and a neutral contribution to the significance of the item, in turn having a higher tolerance to further sympathetic change.

Whilst the bulk and form of the existing additions are not intrusive to the site, they do not add value to the dwelling. Removal of the existing rear extension is acceptable on the basis that such changes have minimal bearing on the overall appearance and footprint of the dwelling, and its imbued heritage significance.

Demolition of the existing entryway into the current master bedroom and the archway in the hallway is currently proposed to open up the hallway to the new addition. This will involve material affectation to fabric and features which contribute to the understanding

of the original form of the building. A recommendation has been made in Section 11.2 to minimise penetrations and material affectations in this portion of the dwelling

- *Is the resolution to partially demolish sympathetic to the heritage significance of the item?*

Whilst the dwelling is identified as an item of local heritage significance, combined with the associated dwellings at Nos.4 and 6, listed under Schedule 5 of the *Parramatta Local Environmental Plan 2023*, the heritage significance is imbued in the fabric of the original c.1914 dwelling. The existing extension is attributed to the late 20th century, and the proposed partial demolition will allow for the addition to be reconfigured whilst retaining the prominence of the original dwelling.

The internal integrity of the dwelling has been distorted over time, owing to previous alterations and additions that have occurred. The proposed demolition is limited to areas of lower significance that are not essential in defining the site, rather is a later addition that has a low retention value. The existing additions at the rear are a neutral element to the site, whereby the resolution to partially demolish fabric is sympathetic to the significance of the item. Overall, the demolition works will have no bearing on the significance imbued in the main form of the dwelling.

- *If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?*

Whilst the proposed partial demolition works are largely motivated by the clients desire for increased available floorspace and a spatial rearrangement of the dwelling, the current extensions are becoming increasingly dilapidated. The verandah at the rear is currently being propped up from the lower-ground floor level, indicating that there are potential defects present in the existing additions at the rear.

- *Will the proposed partial demolition have a detrimental effect or pose a risk to the heritage item and its significance? If yes, what measures are proposed to avoid/mitigate the impact?*

As above, the proposed partial demolition works are limited to areas of the dwelling that have a lower design integrity and a higher tolerance to further change. Save for the proposed removal of original fabric in the master bedroom that has been addressed in the recommendations in Section 11.2, the proposed works are considered entirely sympathetic to the heritage item by removing the current neutral and dilapidated additions to the site and consolidating previous accretions. The proposed partial demolition will not pose any risks to the heritage item and its significance, as the works are concentrated almost entirely to the rear of the site.

Overall, the proposed partial demolition works are considered sympathetic and necessary to achieve the desired development outcomes for the site and the occupants.

ii) Alterations and additions

- *Do the proposed works comply with Article 22 of the Burra Charter, specifically Practice Note Article 22 – New Work (Australia ICOMOS 2013)?*

The dwelling at 8 Valley Road, Eastwood has been reassessed within this Heritage Impact Statement as having historic, aesthetic and representative significance at the local level, in conjunction with the similarly styled dwellings at Nos.4 and 6 Valley Road, Eastwood. As above, the significance of the site is largely imbued in the primary form and landscaped garden setting of the dwelling, however the highest significance is imbued in the front, original portion of the dwelling whereby original detailing remains intact.

The proposed additions are concentrated entirely to the rear of the site, where this portion of the dwelling has been subject to previous change. The alterations and additions consequently have a negligible effect on the overall proportions and established significance of the dwelling.

The proposed works involve the construction of an addition at the rear of the existing dwelling, horizontally expanding the floorspace. The proposed works will have a minor effect on the overall form and footprint of the dwelling and the significance imbued in the site. The proposed additions will sit quietly at the rear of the site, sitting below the ridgeline of the existing dwelling and separated visually by a low-level link. The terracotta tiled roof and brickwork will be matched to the original dwelling, having a minimal impact on the significance of the item. Due to the difference in massing, room form and overall language of the addition, this will be recognised as new work and not seen as mimicking the finer grain details of the heritage item, thus is in accordance with Article 22 of the *Burra Charter*.

- *Are the proposed alterations/additions sympathetic to the heritage item? In what way (e.g. form, proportion, scale, design, materials)?*

The proposed development is considered a sympathetic alteration to the existing dwelling. The original dwelling was constructed c.1914, however the existing extensions were completed in the late 20th century, whereby having a lower degree of heritage significance and a higher tolerance to further change. The series of changes have since diminished the overall design integrity of the site.

The reconstruction of the additions will upgrade the rear portion of a dwelling to a contemporary living standard, whilst providing more floorspace and achieving a spatial rearrangement of the internal areas. These works will consolidate previous accretions whilst retaining the existing silhouette of the dwelling, ensuring the site can be read and appreciated in its original context.

The proposed materiality and form of the additions allows for a more cohesive appearance, and by adopting a similar simple architectural form, the works will assimilate quietly into the street and the rear of the site. The bulk of the addition sits below the existing ridgeline of the current dwelling, though glimpses can be viewed laterally owing to the hipped roof form, though this will not distort views from the street. Further, the works will also incorporate the existing detached rumpus room on the site into the lower-ground floor. The incorporating of the existing building into the works will further limit visual and physical impacts.

- *Will the proposed works impact on the significant fabric, design or layout, significant garden setting, landscape and trees or on the heritage item's setting or any significant views?*

The proposed works are largely a replacement of the existing extension at the rear. This includes the storage space at the lower-ground floor level and the existing living, dining, bathroom and balcony at the ground level. These features are non-significant, and the replacement will be upgrading the additions to a contemporary standard of living and achieve a more effective spatial arrangement for the needs of the occupants. The works will not impact on the significant layout of the original portion of the dwelling, nor any significant fabric.

The current landscaped garden setting at the front and rear of the site does contribute to the significance of the item, though this will not be impacted by the proposed works. There is no removal of existing plantings or trees proposed, as the works are limited to areas where the existing extension currently is.

- *How have the impact of the alterations/additions on the heritage item to be minimised?*

The dwelling at 8 Valley Road, Eastwood is considered to have historic, aesthetic and representative significance at the local level. The proposed additions are relatively minor in scale, and concentrated to the rear of the site which has been subject to previous change. Consequently, the works will have a negligible effect on the overall proportions and established significance of the dwelling.

The works include the construction of an extension at the rear, essentially replacing the existing additions on the site. As the works will fit largely into the footprint of the existing extensions at the rear, though slightly longer toward the rear boundary, this will further limit any visual and physical impacts to the site and significance imbued in the original portions of the dwelling. The works will horizontally expand the available floorspace and will sit below the ridge line of the existing dwelling. Further, the proposed addition will sit in-line with the existing side elevations of the dwelling so as to minimise any further impacts, and combined with the contemporary design response will have an unobtrusive impact.

- *Will the additions visually dominate the heritage item?*

The proposed works are limited to the rear of the site sitting largely within the confines of the existing additions, only extended slightly further to the rear boundary. Owing to the generous setback of the additions behind the primary built form, the works are visually removed from the original portions of the dwelling to mitigate any potential visual and physical heritage impacts from the main viewpoint of Valley Road.

Though the works will increase the overall footprint of the site, limiting the overall size of the addition will allow the works to sit quietly on the site, whilst not suturing the site or dominating the existing dwelling. The additions, through adopting a similar material profile as the remainder of the dwelling will provide a sense of continuity and continuation between the main portion of the dwelling and the proposed addition. This will reduce visual bulk, and allow the development to assimilate to the site and the established significance.

The proposed additions will be largely unseen from the streetscape due to the topography of the site and the existing vegetation in the front yard, as well as the suitably proportioned scale of the additions. Owing to the hipped roof form axial views to the addition may be seen from the street, though due to the setback the original silhouette can remain clearly read and appreciated from the street.

- *Are the additions sited on any known or potentially significant archaeological relics? If yes, has specialist advice from archaeologists been sought? How will the impact be avoided or mitigated?*

Section 4 of this report establishes the historical context for the site, demonstrating that the existing dwelling is the first known built improvement on the subject site, having formerly been used for mostly agricultural (citrus orchards) purposes.

There is no evidence to suggest that the site has potential to yield significant archaeological deposits. Notwithstanding, recommendations are made in Section 11.2 of this report that set out the standard 'unexpected finds' protocols in the unlikely event that archaeological deposits are discovered during any ground disturbance activities or works.

11.0 RECOMMENDATIONS AND MITIGATION MEASURES

11.1 Conclusion

The property is presently identified as an item of local heritage significance, listed on Schedule 5 of the *Parramatta LEP 2023*. This Heritage Impact Statement has re-assessed the heritage values of the property and found that the dwelling at 8 Valley Road, Eastwood is of historical, aesthetic and representative significance at a local level and subsequently, a more comprehensive Statement of Cultural Significance has been developed.

This Heritage Impact Statement has been prepared to consider the potential heritage impacts resulting from the proposed development, which involves the alterations and additions to the existing dwelling. The proposal has been assessed with regards to the identified heritage values and available physical and documentary evidence, including a visual inspection of the site and statutory planning requirements.

The evaluation criteria for assessing the likely impact of a proposed development (as published by the Department of Planning and Environment and the Heritage Council of NSW) have been applied in this impact assessment. Having considered all relevant matters for consideration in this report, subject to the recommendations in Section 11.2 to mitigate identified heritage impacts, the proposed alterations and additions are considered to have a low heritage impact.

The proposal satisfies the objectives and relevant provisions of clause 5.10 of the *Parramatta Local Environmental Plan 2023* and satisfies the applicable development controls of Part 7 of the *Parramatta Development Control Plan 2023*.

Consequently, the proposal is favourably recommended to Council.

11.2 Recommended mitigation measures

The following recommendations arise from the heritage impact assessment in Section 10 of this report. Adoption and implementation of the recommendations should be seen as mechanisms for addressing statutory requirements, mitigating heritage impacts and to ensure appropriate conservation and ongoing management of the heritage item.

TABLE 15 – Recommendations and mitigation measures	
Recommendation	Recommended management / mitigation measures
1. Update citation on NSW State Heritage Inventory Database	<p>The citation for the heritage item on the NSW State Heritage Inventory (SHI) Database should be reviewed by Parramatta City Council and updated to incorporate the historical analysis and the revised Statement of Significance per this Heritage Impact Statement.</p> <p>EHC hereby authorises Parramatta City Council to reproduce the information contained within this report for the purposes of updating and revising the citation on the SHI Database, provided that EHC is acknowledged as the author.</p>
2. Standard of workmanship	<p>All works undertaken on the site in association with the proposed [restorative / conservation / remedial] works should be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.</p>
3. Archaeology	<p>Should any substantial intact archaeological deposits whether artefacts, relics or occupation deposits be discovered or uncovered, excavation and / or disturbance of the site is to immediately cease and the Consent Authority and Heritage NSW notified.</p> <p>Additional archaeological assessment may be required prior to works continuing in the affected area/s based on the nature of the discovery.</p>
4. Retention of significant features and fabric	<p>The modification of the existing entrance to the master bedroom, and the removal of fabric in the hallway will involve material affectation to fabric and features which contribute to the original form of the building. Consideration should be made to minimise material affectation to the building by utilizing previous openings and penetrations in the original portion of the dwelling, in accordance with the principles of the Burra Charter insofar as doing as much as necessary but as little as possible.</p>

End of Report

Appendix A

Common terms used in this report

The following is a list of terms and abbreviations adopted for use in the *NSW Heritage Manual* (prepared by the Heritage Council of NSW), and other terms used by those involved in investigating, assessing and managing heritage, including terms used within this Heritage Impact Statement:

Aboriginal significance: An item is of Aboriginal heritage significance if it demonstrates Aboriginal history and culture. The National Parks and Wildlife Service has the primary responsibility for items of Aboriginal significance in New South Wales.

Adaptation: Modification of a heritage item to suit a proposed, compatible use.

Aesthetic significance: An item having this value is significant because it has visual or sensory appeal, landmark qualities and/or creative or technical excellence.

Archaeological assessment: A study undertaken to establish the archaeological significance (research potential) of a particular site and to propose appropriate management actions.

Archaeological feature: Any physical evidence of past human activity. Archaeological features include buildings, works, relics, structures, foundations, deposits, cultural landscapes and shipwrecks. During an archaeological excavation the term 'feature' may be used in a specific sense to refer to any item that is not a structure, a layer or an artefact (for example, a post hole).

Archaeological significance: A category of significance referring to scientific value or 'research potential' that is, the ability to yield information through investigation.

Archaeological sites: A place that contains evidence of past human activity. Below-ground archaeological sites include building foundations, occupation deposits, features and artefacts. Above-ground archaeological sites include buildings, works, industrial structures and relics that are intact or ruined.

Archaeology: The study of material evidence to discover human past. See also historical archaeology.

Artefacts: Objects produced by human activity. In historical archaeology the term usually refers to small objects contained within occupation deposits. The term may encompass food or plant remains (for example, pollen) and ecological features.

Australia ICOMOS: The national committee of the International Council on Monuments and Sites.

Burra Charter: (and its guidelines). Charter adopted by Australia ICOMOS which establishes the nationally accepted principles for the conservation of places of cultural significance.

Comparative significance: In the NSW Heritage Assessment Procedure there are two

values used to compare significance: representativeness and rarity.

Compatible use: A use for a heritage item, which involves no change to its culturally significant fabric, changes which are substantially reversible or changes, which make a minimal impact.

Cultural landscapes: Those areas of the landscape, which have been significantly modified by human activity. They include rural lands such as farms, villages and mining sites, as well as country towns.

Cultural significance: A term frequently used to encompass all aspects of significance, particularly in guidelines documents such as the Burra Charter. Also one of the categories of significance listed in the Heritage Act 1977.

Curtilage: The geographical area that provides the physical context for an item, and which contributes to its heritage significance. Land title boundaries and heritage curtilages do not necessarily coincide.

Demolition: The damaging, defacing, destroying or dismantling of a heritage item or a component of a heritage conservation area, in whole or in part.

Conjectural reconstruction: Alteration of a heritage item to simulate a possible earlier state, which is not based on documentary or physical evidence. This treatment is outside the scope of the Burra Charter's conservation principles.

Conservation: All the processes of looking after an item so as to retain its cultural significance. It includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

Conservation Management Plan: (CMP) A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance. It can include guidelines for additional development or maintenance of the place.

Conservation policy: A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations.

Contact sites: Sites which are associated with the interaction between Aboriginal and non-Aboriginal people.

Excavation permit: A permit issued by the Heritage Council of New South Wales under

section 60 or section 140 of the Heritage Act 1977 to disturb or excavate a relic.

Façade: The elevation of a building facing the street.

Heritage Act 1977: The statutory framework for the identification and conservation of heritage in New South Wales. The Act also describes the composition and powers of the Heritage Council.

Heritage Advisor: A heritage consultant engaged by a local council, usually on a part-time basis, to give advice on heritage matters to both the council and the local community.

Heritage assessment criteria: Principles by which values for heritage significance are described and tested. See historical, aesthetic, social, technical/ research, representativeness, rarity.

Heritage conservation area: An area which has a distinctive character of heritage significance, which it is desirable to conserve.

Heritage Council: The New South Wales Government's heritage advisory body established under the Heritage Act 1977. It provides advice to the Minister for Urban Affairs and Planning and others on heritage issues. It is also the determining authority for section 60 applications.

Heritage fabric: All the physical material of an item, including surroundings and contents, which contribute to its heritage significance.

Heritage inventory: A list of heritage items, usually in a local environmental plan or regional environmental plan.

Heritage item: A landscape, place, building, structure, relic or other work of heritage significance.

Heritage NSW: The State Government agency of the Department and Premier and Cabinet, responsible for providing policy advice to the relevant Minister, administrative services to the Heritage Council and specialist advice to the community on heritage matters.

Heritage precinct: An area or part of an area which is of heritage significance. See also heritage conservation area.

Heritage significance: Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations.

Heritage study: A conservation study of an area, usually commissioned by the local council. The study usually includes a historical context report, an inventory of heritage items

within the area and recommendations for conserving their significance.

Heritage value: Often used interchangeably with the term 'heritage significance'. There are four nature of significance values and two comparative significance values. See heritage significance, nature of significance, comparative significance.

Hierarchy of significance: Used when describing a complex heritage site where it is necessary to zone or categorise parts of the area assigning each a particular significance. A commonly used four level hierarchy is: considerable, some, little or no, intrusive (that is, reduces the significance of the item).

Industrial archaeology: The study of relics, structures and places involved with organised labour extracting, processing or producing services or commodities; for example, roads, bridges, railways, ports, wharves, shipping, agricultural sites and structures, factories, mines and processing plants.

Integrity: A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage are still largely intact.

International Council on Monuments and Sites (ICOMOS): An international organisation linked to UNESCO that brings together people concerned with the conservation and study of places of cultural significance.

There are also national committees in sixty countries including Australia.

Level of significance: There are three management levels for heritage items in New South Wales — local, regional and state. The level is determined by the context in which the

item is significant. For example, items of state heritage significance will either be fine examples or rare state-wide or will be esteemed by a state-wide community.

Local significance: Items of heritage significance which are fine examples, or rare, at the local community level.

Moveable heritage: Heritage items not fixed to a site or place (for example, furniture, locomotives and archives).

Occupation deposits: (In archaeology.) Accumulations of cultural material that result from human activity. They are usually associated with domestic sites, for example, under-floor or yard deposits.

Post-contact: Used to refer to the study of archaeological sites and other heritage items dating after European occupation in 1788 which helps to explain the story of the relationship between Aborigines and the new settlers.

Preservation: Maintaining the fabric of an item in its existing state and retarding deterioration.

Rarity: An item having this value is significant because it represents a rare, endangered or unusual aspect of our history or cultural heritage.

Reconstruction: Returning a place as nearly as possible to a known earlier state by the introduction of new or old materials into the fabric (not to be confused with conjectural reconstruction).

Relic: The Heritage Act 1977 defines relic as: '...any deposit, object or material evidence relating to non-Aboriginal settlement which is more than fifty years old.' The National Parks and Wildlife Act 1974 defines a relic as: '...any

deposit, object or material evidence (not being a handicraft made for sale) relating to indigenous and non-European habitation of the area that comprises New South Wales, being habitation both prior to and concurrent with the occupation of that area by persons of European extraction, and includes Aboriginal remains.'

Representativeness: Items having this value are significant because they are fine representative examples of an important class of significant items or environments.

Restoration: Returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without introducing new material.

Social significance: Items having this value are significant through their social, spiritual or cultural association with a recognisable community.

State heritage inventory: A list of heritage items of state significance developed and managed by the Heritage Division. The inventory is part of the NSW Heritage Database.

State significance: Items of heritage significance which are fine examples, or rare, at a state community level.

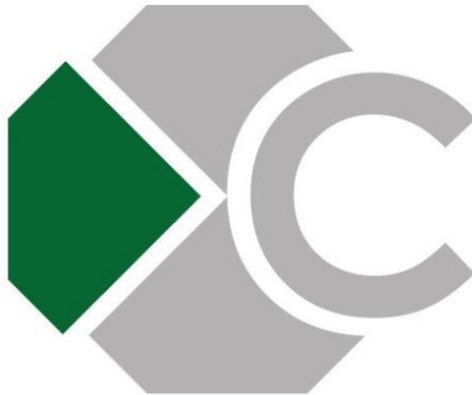
Statement of heritage significance: A statement, usually in prose form which summarises why a heritage item or area is of importance to present and future generations.

Technical/research significance: Items having this value are significant because of their contribution or potential contribution to an understanding of our cultural history or environment.

Statement of Environmental Effects

8 Valley Road Eastwood

Alteration and addition to the existing heritage dwelling



CORNERSTONE URBAN CONSULTING

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1. Introduction

This Statement of Environmental Effects (SEE) has been prepared on behalf of the applicant for the proposed development. This statement forms part of a Development Application (DA) to the City of Parramatta Council seeking consent for alteration and addition to the existing heritage listed dwelling at 8 Valley Road Eastwood (Site). The following development controls (amongst others) mainly apply:

1. Parramatta Local Environmental Plan 2023, hereafter referred to as the PLEP;
2. Parramatta Development Control Plan 2023, hereafter referred to as the PDCP.

The purpose of this statement is to address the planning issues associated with the development proposal and specifically to assess the likely impact of the development on the environment in accordance with the requirements of S4.15 (1) of the *Environmental Planning & Assessment (EP&A) Act 1979*.

The proposal broadly seeks demolition works along the rear portion of the dwelling, and construction of a two storey rear addition. The existing dwelling is a locally listed heritage item being item No. 155 as per Schedule 5 of the PLEP titled 'Hughes Road Group (Valley Road)'. The proposal is accompanied by a Heritage Impact Statement which concludes that the works are satisfactory, with mitigation measures recommended to limit adverse impacts upon the existing heritage fabric.

The proposal reasonably complies with all the applicable SEPPs, PLEP, and PDCP requirements. The proposal has been sensitively designed to reduce any adverse bulk and visual impacts on the locality.

This statement has been prepared in conjunction with the architectural plans and supporting documentation submitted to Council for assessment of the development application. This report concludes that the proposal is of minimal environmental impacts and is worthy of Council support.

This Statement is divided into eight sections. The sections include a locality and site analysis, a description of the proposal, background, an environmental planning assessment, conclusion, and recommendations.

2. Site Analysis and Context

2.1. Locality

The Site is located within the Local Government Area (LGA) of The City of Parramatta Council. The Site is approximately 1.3km north-west of Eastwood Station, and approximately 8km north-east of Parramatta CBD.

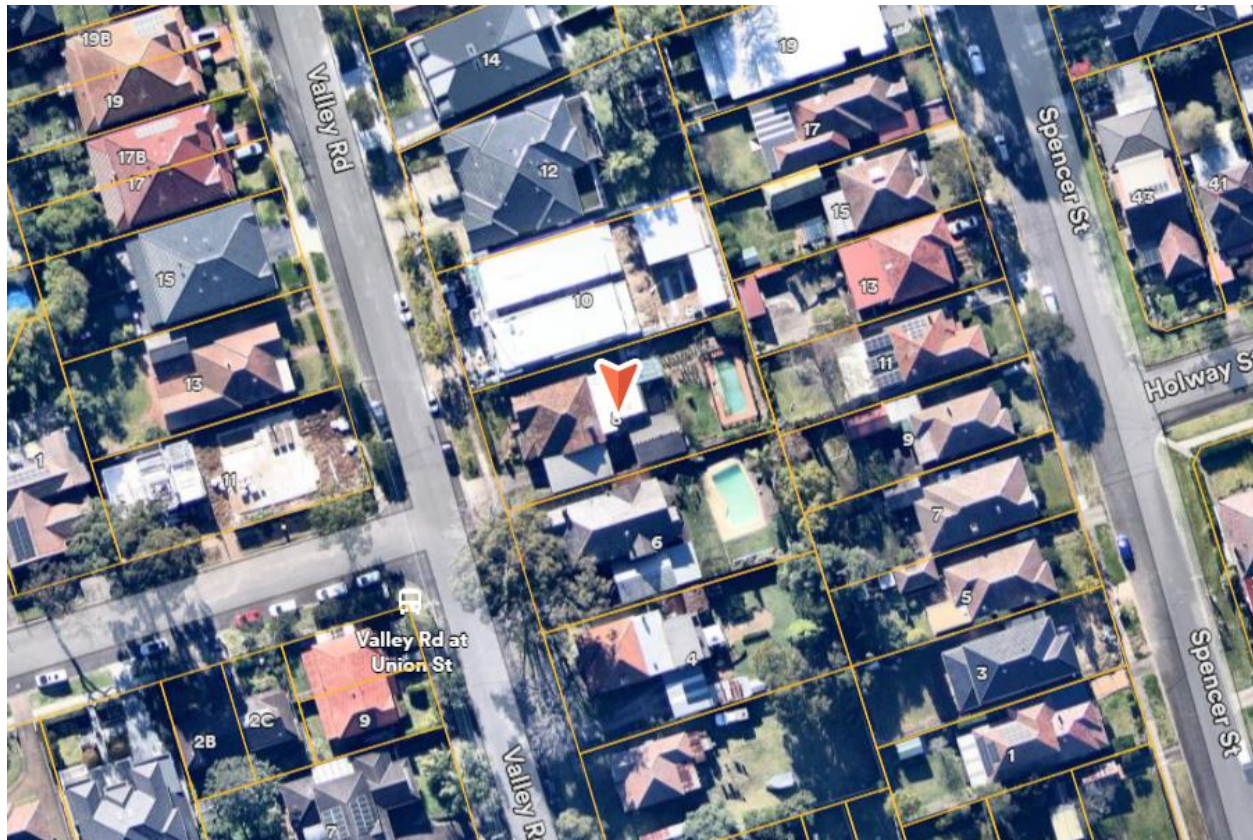


Figure 1. Aerial view of subject site shown in red (Source: Nearmap 2024)

2.2. Site Description

The Site is legally described as Lot 7, in DP 7004 and commonly known as 8 Valley Road Eastwood. The rectangular shaped site observes a primary western facing frontage of 20.11m to Valley Road, a depth of 45.1m and a site area of 904.2sqm (by DP). The site observes a gradual slope towards the rear with an average height difference of 3.5m.

2.3. Existing Built Form, Surrounding Locality and Local Character

The site currently contains a stepped single storey dwelling house with a brick exterior and a tiled roof. Vehicular access is currently gained through an existing driveway onto Valley Road. The site includes an existing carport and outbuilding along the southern side boundary, in addition to a rear in-ground swimming pool within the rear yard.

Adjoining the site in all directions are single and double storey dwelling houses.

The Site is well located with regards to proximity to public transport and roads. The Site is 1.3km north west of Eastwood Station. Additionally, the Site is well located with regards services and open space areas including Eastwood Park.

The locality is generally residential in character with a mix of one and two storey residential buildings traditional and contemporary in design. The streetscape is characterised by an open setting with some street trees.

The existing dwelling is a locally listed heritage item being item No. 155 as per Schedule 5 of the PLEP titled 'Hughes Road Group (Valley Road)'. The heritage listing comprises a group of dwellings being 4, 6 and 8 Valley Road. The heritage listing statement of cultural significance as per the NSW State Heritage Inventory is as follows:

"The group of houses at 4, 6 and 8 Hughes Road is of significance for the local area for historical and aesthetic reasons, and as a representative example of quality residences of the Federation period in the area. The houses, built c. 1910, make an important contribution to the area character, enhanced by the similarities in age, design, use and materials."



Figure 2. Street view of Site from Valley Road



Figure 3. View of rear façade of dwelling



Figure 4. View of rear swimming pool

3. Vegetation and Existing Infrastructure

The site does not contain significant vegetation, trees, or topographic features. Informal landscaping is located along the site's front and rear yard. The site is serviced by an existing vehicular crossing. Site is serviced by all essential services (sewer, water, electricity, telecommunication).

4. Background

A search of online Council records did not reveal historical planning approvals relating to the site.

5. Proposal

5.1. Proposal Description

The proposal seeks consent for 'alteration and addition to the existing heritage listed dwelling'. The development is detailed as follows:

Demolition

- Ancillary demolition along the rear façade to facilitate the proposed works.
- Removal of nominated paved areas.
- Ancillary demolition along the existing rumpus room adjacent to the southern side boundary.

Alteration and addition

Lower Ground floor

- Addition of a rear wing consisting of: stairs leading down to the new level, two bedrooms one with an ensuite, dining/kitchen area, pantry room, bathroom, rear timber decking.

Upper Ground floor

- Addition of a new first floor connecting to the existing ground floor consisting of: bathroom x2, master bedroom with ensuite, study area, rear balcony.
- Construction of a new roof over the existing rumpus room (now part of the lower ground floor layout).
- General outdoor landscape works.



Figure 5. Artist impression of proposed southern façade



Figure 6. Artist impression of proposed rear façade

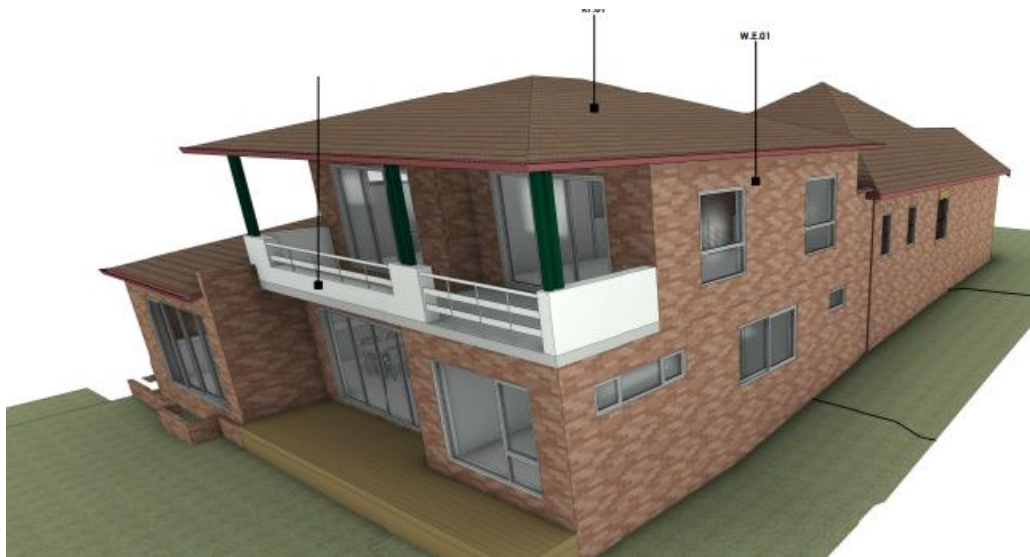


Figure 7. Artist impression of proposed northern facade

5.2. Numerical figures

The key statistics and elements of the project are shown in the table below:

Component	Value
Site area	904.2sqm
Gross floor area	306.6sqm or 0.34:1
Height	7.8m
Parking	2 spaces (as existing)
Tree removal	Nil
Landscaping	276.8sqm or 30.6%

5.3. National Construction Code

NCC Classification: Class 1A (dwelling house)

The development has been designed to ensure compliance with volume 2 the National Code of Australia (previously BCA). The proposal has considered all relevant Australian standards and is accompanied by relevant structural and drainage compliance certificates.

6. Planning Controls

The following planning instruments and guides are applicable to the proposed development:

- *Biodiversity Conservation Act 2016*
- *Environmental Planning and Assessment Act 1979*
- *Environmental Planning and Assessment Regulation 2021*
- *State Environmental Planning Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Transport and Infrastructure) 2021*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021*
- *State Environmental Planning Policy (Planning Systems) 2021*
- *State Environmental Planning Policy (Sustainable Buildings) 2022*
- *Parramatta Local Environmental Plan 2023*
- *Parramatta Development Control Plan 2023*

The relevant provisions and controls of the above Instruments and Plans are summarised in the following sections of this Statement of Environmental Effects.

7. Biodiversity Conservation Act 2016

The *Biodiversity Conservation Act 2016* lists and protects threatened species and ecological communities that are under threat of extinction in NSW. The proposal will not result in adverse ecological impacts that would trigger the required thresholds.

Site is not within area mapped as biodiversity values.

8. Environmental Planning and Assessment Act 1979

Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) specifies the matters which a consent authority must consider when determining a development application. These have been considered in detail in the below sections of this statement.

8.1. Bush Fire Prone Land (Section 4.14)

This section of the EP&A Act applies to bushfire prone land. The site is not within a bushfire area.

8.2. Integrated Development (Section 4.46)

This section of the EP&A Act defines integrated development as matters which require consent from Council and one or more approvals under related legislation. It is not anticipated that the application will require integrated development approval and no integrated development approval is sought as part of the DA stage.

8.3. Evaluation (Section 4.15)

- (i) *Section 4.15(1)(a)(i)*

The provisions of any Environmental Planning Instrument

8.3.1. State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

Chapter 4 of the SEPP relating to remediation of land applies to the site.

Chapter 4 aims to promote the remediation of contaminated land in order to reduce the risk of harm to human health or any other aspect of the environment. Clause 4.6 requires contamination and remediation to be considered in determining a development application. The consent authority must not consent to the carrying out of development on land unless it has considered whether or not the land is contaminated.

A review of the site history indicates that the site has been used for residential purposes for extended periods of time, and such uses and/or development are not typically associated with activities that would result in the contamination of the site. The proposed works do not include any change to the use of the land that would result in any concerns with respect to contamination. There is no indication of previous uses that would cause contamination. In this regard there is no indication that the land is contaminated. The criterion of Chapter 4 has been satisfied.

8.3.2. State Environmental Planning Policy (Transport and Infrastructure) 2021

Chapter 2 Infrastructure

The provisions of chapter 2 (Infrastructure) have been considered in the assessment of this development. The development may be subject to clause 2.48 of the SEPP if the proposal is within the vicinity of electricity infrastructure. The proposal is not within the vicinity of electricity powerlines and no adverse impacts will be generated by the proposal on electricity infrastructure.

8.3.3. State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 Vegetation in non-rural areas

The objectives of the chapter 2 are to protect the biodiversity values of trees and other vegetation in non-rural areas and preserve the amenity of non-rural areas through the preservation of trees and other vegetation. This policy is applicable pursuant to Clause 5(1) of the SEPP as the site is within both Parramatta Council and the R2- Low Density Residential zone. No tree are proposed to be removed. All existing neighbouring and street trees will be protected.

Chapter 6 Water Catchments

Chapter 6 aims to improve the health of the harbour, its foreshore and tributaries. The site is mapped within the Sydney Harbour Catchment and as such the Chapter 6 of the SEPP applies. The site is not within the 'Foreshores and Waterways Map', 'Heritage Map', 'Rocky Foreshores and Significant Seagrasses Map', 'Strategic Foreshore Sites'. In this regard given the site's separation from water courses, the applicability of the provisions of the chapter are limited.

The proposal is accompanied by compliant stormwater plans.

8.3.4. State Environmental Planning Policy (Planning Systems) 2021

The application is not considered as regionally significant development. The consent authority in this instance is Council or the Local Planning Panel.

8.3.5. State Environmental Planning Policy (Sustainable Buildings) 2022

A BASIX is required to accompany the DA given the development is a BASIX Development (as defined by the Environmental Planning and Assessment Regulation 2021) given the estimated construction cost is more than \$50,000. A BASIX Certificate accompanies the DA.

8.3.6. Parramatta Environmental Plan 2023



Figure 8. Land Zoning Map with site identified in the R2 zone and is outlined in yellow (Source: ePlanning Spatial Viewer 2024)

The relevant clauses of PLEP are addressed below.

Parramatta Local Environmental Plan 2023			
LEP Control	Standards	Proposal	Compliance
2.3 Zone objectives and Land Use Table	<p>Zone R2 Low Density Residential</p> <ul style="list-style-type: none">To provide for the housing needs of the community within a low density residential environment.To enable other land uses that provide facilities or services to meet the day to day needs of residents.	The proposal achieves the zone objectives.	✓

	<ul style="list-style-type: none"> • To maintain the low density residential character of the area. • To ensure non-residential land uses are carried out in a way that minimises impacts on the amenity of a low density residential environment. • To provide a range of community facilities that serve the needs of people who live in, work in and visit the area. • To protect and enhance tree canopy, existing vegetation and other natural features. 		
	<u>Permitted with consent</u> Dwelling house	The proposal is for alteration and addition to an existing dwelling house.	✓
2.7 Demolition requires development consent	The demolition of a building or work may be carried out only with development consent	Ancillary demolition works are proposed.	✓
4.3 Height of buildings	9m	7.8m	✓
4.4 Floor Space Ratio	0.5:1	0.34:1	✓
5.10 Heritage conservation	(2) Requirement for consent Development consent is required for any of the following— (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)— (i) a heritage item, (ii) an Aboriginal object, (iii) a building, work, relic or tree within a heritage conservation area,	The proposal broadly seeks demolition works along the rear portion of the dwelling, and construction of a two storey rear addition. The existing dwelling is a locally listed heritage item being item No. 155 as per Schedule 5 of the PLEP titled 'Hughes Road Group (Valley Road)'.	✓

	(5) Heritage assessment The consent authority may, before granting consent to any development— (a) on land on which a heritage item is located, or (b) on land that is within a heritage conservation area, or (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.	The proposal is accompanied by a Heritage Impact Statement which concludes that the works are satisfactory, with mitigation measures recommended to limit adverse impacts upon the existing heritage fabric.	
5.21 Flood planning	As per clause 5.21	The site has not been identified as within a flood affected area based on a search through publicly available records.	✓
6.1 Acid Sulfate Soils	Class 5	Although the site is in a Class 5 acid sulfate soils area, an acid sulfate management plan is not warranted given the excavations proposed are not excessive and thus are unlikely to lower the water table.	✓
6.2 Earthworks	<p>(2) Development consent is required for earthworks unless—</p> <p>(a) the work is exempt development under this Plan or another applicable environmental planning instrument, or</p> <p>(b) the work is ancillary to other development for which development consent has been given.</p>	<p>Consent is sought for earthworks pertinent to the proposed development. It is considered that the proposed earthworks and excavation will not have a detrimental impact on environmental functions and processes, neighbouring uses, heritage fabric or features of the surrounding land.</p> <p>Ancillary earthworks limited to site preparation and structural footings for the proposed addition, and landscape works.</p>	✓
6.3 Biodiversity	As per clause 6.3	Site is not within a mapped biodiversity area.	N/A

6.4 Riparian land and waterways	As per clause 6.4	Site is not mapped on the natural resources map.	N/A
6.5 Stormwater management	As per clause 6.15	The development is accompanied by compliant stormwater plans.	✓
6.7 Essential services	As per clause 6.7	The site is serviced by an existing vehicular crossing. Site is serviced by all essential services (sewer, water, electricity, telecommunication).	✓

(ii) Section 4.15(1)(a)(ii)

The provision of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

The proposal is not inconsistent with any proposed instrument that is or has been the subject of public consultation.





(iii) Section 4.15(1)(a)(iii)

The provisions of any Development Control Plan

8.3.7. Parramatta Development Control Plan 2023

The proposed development is subject to the provisions of PDCP. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP. The proposed development is largely consistent with the numeric and performance-based controls contained in the DCP. Where a non-compliance occurs, a justification has been provided to demonstrate that the proposal achieves the relevant objectives of the DCP.

Parramatta Development Control Plan 2023			
DCP Control	Standards	Proposal	Compliance
Part 3 Residential Development			
3.3.1.2 Preliminary Building Envelope	<u>Building height</u> C.01 The maximum building height is to be consistent with the Parramatta LEP 2023 Height of Buildings Map.	7.8m	✓

	C.04 The ground floor level (finished) of any building must not exceed 500mm above or below natural ground level.	0.8m, the raised ground floor level is considered to be acceptable in this instance for the following reasons: <ul style="list-style-type: none"> - The height complies with the PLEP limit. - The site slopes steeply to the rear which results in the need for a raised floor plate. - No adverse overshadowing or privacy impacts are generated by the proposal. - The proposal meets the objective of part 3.3.1.2 	Acceptable with merit
	<u>Setbacks</u> Side: 900mm C.9 The maximum length of wall along a side boundary is 10 metres. A minimum recess (measured from the face of the external wall) of 1.5 metres (depth) by 2 metres (length) is required to all storeys after 10 metres. C.10 A rear setback equal to 30% of the site length, as measured perpendicular to the centre of the rear boundary, must be provided as per Figure 3.3.1.2.1	Northern: 3.78m Southern: 678mm (As existing) Although the northern façade exceeds 10m in length, the wall is not readily visible from the street and has been sensitively designed to observe colours and finishes which would be in harmony with remainder of the heritage listed dwelling. 13.51m or 30%	 Acceptable with merit 
	3.3.1.3 Streetscape And Building Address	C.02 Habitable rooms are to be located to overlook the street or other public spaces.	Habitable room along the street façade will remain as existing. 
3.3.1.4 OPEN SPACE AND LANDSCAPE	C.01 A minimum 30% of the total site area is to be provided as deep soil, with a minimum dimension of 4 metres x 4 metres, where: a) at least 50% of the deep soil is located at the rear of the site, and b) at least 15% of the deep soil is located at the front of the site.	276.8sqm or 30.6%	

	C.02 A minimum 40% of the total site area, including deep soil zone, is to be provided as landscaping with a minimum dimension of 2 metres x 2 metres.	As existing the site does not contain 40% of deep soil landscaping (existing: approx. 145.44sqm or 16%). The proposal will increase landscape areas to 276.8sqm or 30.6% by removing some existing paving to create a larger landscape area.	Existing non-compliance / Acceptable with merit.
	C.03 A minimum 100m ² of private open space must be provided for each dwelling. This space is to be contiguous, provided at ground level, located to the rear of each dwelling, and have a minimum dimension of 6 metres.	271sqm in rear yard.	✓
	C.04 Private open space must be directly accessible from the living area of the dwelling and capable of serving as an extension of the dwelling for entertainment and recreation	Compliant private open space provided directly accessible from the living area.	✓
3.3.1.5 Parking Design And Vehicular Access	C.03 Garages and carports provided at the front of a property are to integrate with the design of the dwelling so that they are less dominant in the streetscape.	Parking arrangement will remain as existing.	N/A
3.3.1.6 Internal Amenity	C.01 The minimum floor to ceiling height is 2.7 metres on all storeys, excluding attics.	2.7m minimum to all floors.	✓
	C.02 Master bedrooms are to have a minimum area of 10m ² , and all other bedrooms are to be a minimum of 9m ² (in all cases the minimum area must exclude any wardrobe space).	Bedroom sizes exceed size requirements.	✓
	C.03 Living rooms or combined living-dining spaces are to have a minimum internal width of 5 Metres	5.4m x 5.2m	✓

Part 7 Heritage And Archaeology			
Alterations and Additions	C.10 Any alterations and additions must be consistent with the scale, form and materials used in the existing building so as not to detract from its visual importance to the area while enhancing the existing house, or otherwise lighter weight materials such as painted timber, fibro, iron or timber cladding could be adopted.	The proposed alterations have been supported by a heritage impact statement which concludes that the works are acceptable and will not result in adverse impacts upon heritage fabric subject to specific mitigation measures.	✓
	C.11 Generally, modest additions work best in heritage sensitive contexts. Modest and proportionated additions can be designed as wings or pavilions connected by a "link" structure to complement the existing building.	The new additions are designed as a wing whereby a different roof form is proposed to preserve existing heritage fabric.	✓
	C.12 All the proposed additions must be located at the rear of the property, never at the front or on the side of existing retained items. Additions should be linked to the original main part of the existing building by way of pavilions or skillions at the back of the house.	Located in the rear.	✓
	C.13 Additions should not be designed to appear higher than the ridgeline of the existing buildings and to complement the existing roof form. The main body of the building should be retained, restored, and kept in good condition to extend its life and use of materials.	Alterations below the existing roof ridge.	✓
	C.14 In general, where an extension is proposed to a single	Two storey addition however has been designed to be sympathetic to	✓

	storey dwelling the extension should also be designed as single storey, unless flooding concerns would be identified and the proposed development must comply with the flooding requirements of this DCP.	the existing heritage dwelling and has been supported by a heritage impacts statement.	
	C.16 Rear second storey additions should use recessive colours and should not visually dominate the side and front elevations of the existing retained building.	The chosen colours and finishes are consistent with those existing in order to provide a consistent finish.	✓
	C.19 Council does not generally support demolition of heritage items. Poor structural condition or costs associated with restoration and conservation works are not sufficient justifications. Demolition by neglect is also a serious issue and a concern for Council, the poor conditions could affect not only the subject site liveability but also the safety and liveability of the nearby properties. Unkempt items negatively impact the character of the conservation area, as well as the context and view surrounding heritage items.	Elements being demolished are non-significant fabric which will not detract from the significant of the heritage dwelling.	✓

(iiia) Section 4.15(1)(a)(iiia)

Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

There are no known Planning Agreements entered into under Section 7.4 and no draft Planning Agreements are proposed to be entered into under Section 7.4 for this proposed development.

(iv) Section 4.15(1)(a)(iv)

The regulations (to the extent that they prescribe matters for the purposes of this paragraph),

Environmental Planning and Assessment Regulation 2021	Response
Section 23 Persons who may make development applications	Owners consent has been obtained.
Section 69 Compliance with the BCA	Works will comply with the BCA.

(v) (Repealed)

8.4. S4.15 (1)(b) of the EP&A Act 1979

The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

8.4.1. Natural Environment

The development has been designed taking into consideration the natural features of the environment. The proposal will not remove any of the significant trees. All trees will be retained and protected.

Stormwater disposal has been designed in accordance with Council's policy.

8.4.2. Built Environment

The proposed design is of a scale which meets the objectives of the R2 zone and its development standards and the design controls within PDCP. The proposal is accompanied by a Heritage Impact Statement which concludes that the works are satisfactory, with mitigation measures recommended to limit adverse impacts upon the existing heritage fabric.

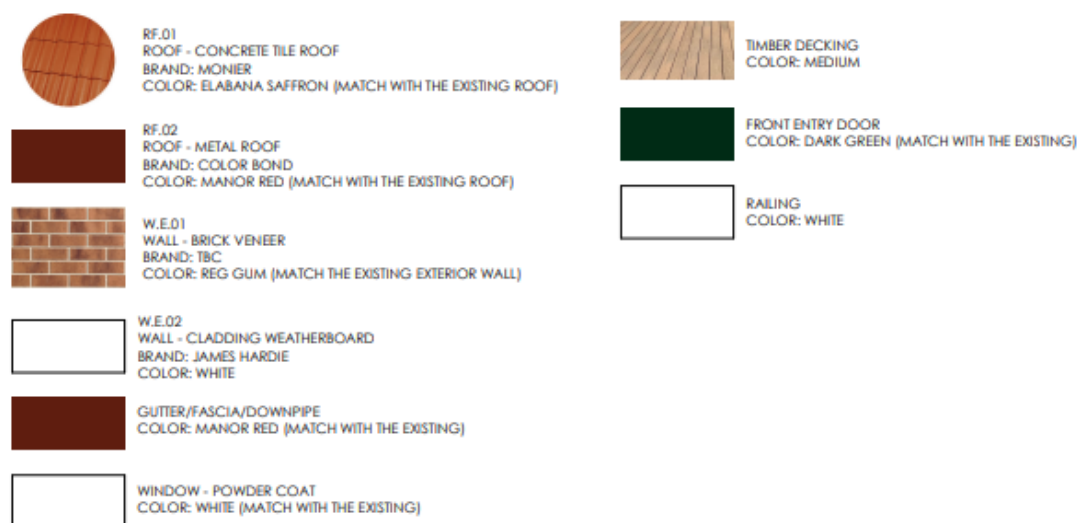


Figure 9. Chosen colours and finishes board

8.4.3. Social and Economic Impacts

The proposal will not have adverse impacts on the social aspect of the environment. The proposal is permissible and has been designed respectfully in accordance with all controls and development standards. The proposal will offer an additional sense of security to the residents as a result of the enclosure of the parking area. The proposal will not have adverse economic impacts.

8.4.4. Overshadowing

No adverse overshadowing impacts will be generated by the proposal. The primary living area and private open space area of 6 Valley Road will receive 3 hours of solar access between 9am and 12pm.

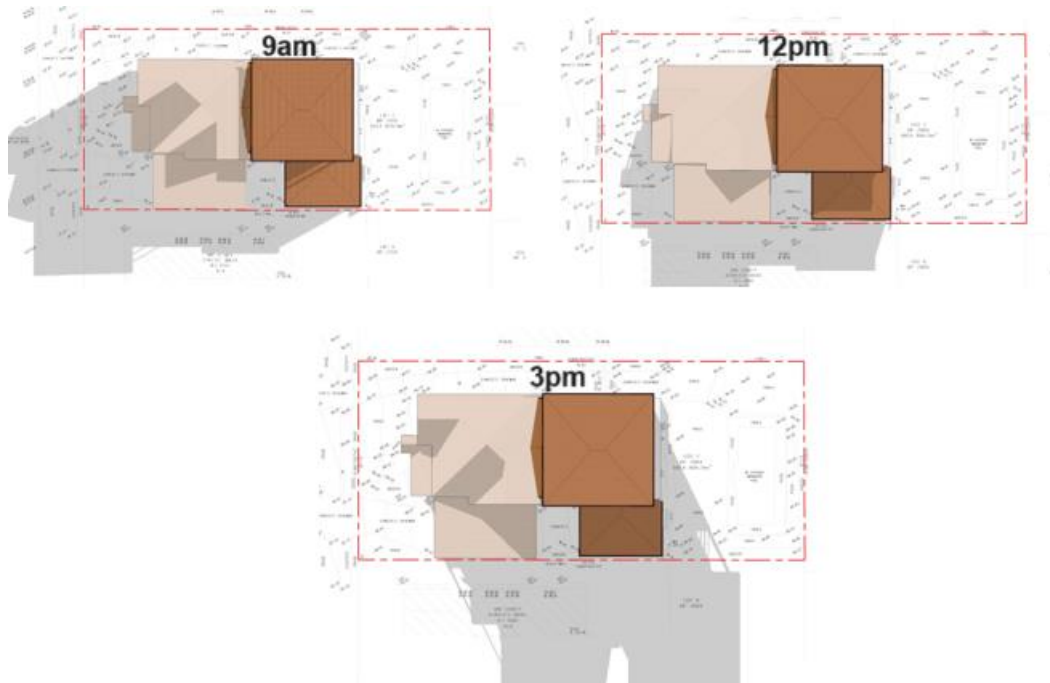


Figure 10. Midwinter shadow diagrams

8.4.5. Privacy and visual impacts

The proposed dwelling will not give rise to adverse privacy or visual impacts. The building as proposed has been established with respect to the relevant development standards within LEP and the application of good design principles as per the DCP.

The proposal is unlikely to have an adverse impact on any public or private views and vistas.

8.4.6. Traffic and Parking impacts

The proposal will not result in adverse impacts upon traffic and parking. Existing driveway crossings will be retained.

8.4.7. Acoustic impacts

The proposal will not result in adverse impacts acoustic impacts. Works will be undertaken in accordance with the BCA.

8.5. S4.15 (1)(c) of the EP&A Act 1979

The suitability of the site for the development

The existing development site and the adjacent sites do not provide any constraints which would render the site unsuitable for development as proposed. The site is considered suitable for the proposed development given its permissibility within the zone and its compliance with the relevant controls.

8.6. S4.15 (1)(d) of the EP&A Act 1979

Any submissions made in accordance with this Act or the regulations

This aspect cannot be assessed at this time. It is anticipated that all neighbouring comment received will be considered in Council's assessment of the application.

8.7. S4.15 (1)(e) of the EP&A Act 1979

The Public Interest

The proposed use is permissible with development consent, is consistent with zone objectives and reasonably satisfying relevant aspects of the SEPPs, LEP, and DCP. The proposal is consistent with the R2- Low Density Residential zone objective as per the LEP. The impacts of the proposal have been considered in this assessment and will be entirely acceptable and minimal. Accordingly, the proposed development is in the public interest and worthy of Council's support.

9. Conclusion and Recommendations

This statement of environmental effects has detailed the specifics of the site and its context and outlines the proposal for the alteration and addition to the existing heritage listed dwelling at 8 Valley Road Eastwood.

The application has been considered in accordance with the matters for consideration pursuant to Section 4.15 of the *Environmental Planning and Assessment Act 1979*. The proposal is permissible with consent from Council and complies with the relevant statutory and local planning controls. The development as proposed will create a harmonious balance between the natural and built environments and will not result in adverse impacts to the environment and the neighbours.

The proposal will only have positive impacts on the natural and built environment and is suitable at the site and in the public interest. After a thorough assessment of the proposed development, it is recommended that consent be granted to the proposed development. We respectfully ask for Council's favourable consideration of this DA.

CONTACT**Joe Saad***Bachelor of Urban Planning*

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PROJECT NO.**1123****REVISION****A****DATE OF ISSUE****23 June 2024**

WASTE MANAGEMENT PLAN

DEMOLITION, CONSTRUCTION AND USE OF PREMISES

The applicable sections of this table must be completed and submitted with your Development Application.

Completing this table will assist you in identifying the type of waste that will be generated and will advise Council of how you intend to reuse, recycle or dispose of the waste.

The information provided on the form (and on submitted plans) will be assessed against the objectives of the DCP.

If space is insufficient in the table please provide attachments.

Outline of Proposal

Site Address: 8 Valley Road Eastwood NSW 2122

Applicant's name and address: Adext Architets (contact: Jun WANG)

2a Elsie Street, Burwood, NSW 2134

Phone: 0414074774

Fax: _____

Building and other structures currently on the site: _____

Single dwelling house

Brief description of Proposal: _____

Addition & alteration to existing dwelling house and associated works at

8 Valley Road Eastwood

The details provided on this form are the intentions of managing waste relating to this project.

Signature of Applicant: _____



Date: 20/06/2024

STAGE ONE – DEMOLITION

This is the stage with the greatest potential for waste minimisation, particularly in Sydney where there are high levels of development, relatively high tipping charges and where alternative quarry materials are located on the outskirts.

Applicants should consider whether it is possible to re-use existing buildings, or parts thereof, for the proposed use.

With careful onsite sorting and storage and by staging work programs it is possible to re-use many materials, either on-site or off-site.

Council is seeking to move from the attitude of straight demolition to a process of selected deconstruction, ie. total reuse and recycling both off-site and on-site. This could require a number of colour-coded or clearly labelled bins onsite (rather than one size fits all).

Applicants should demonstrate project management which seeks to:

- re-use of excavated material on-site and disposal of any excess to an approved site;
- greenwaste mulched and re-used in landscaping either on-site or off-site;
- bricks, tiles and concrete re-used on-site as appropriate, or recycled off-site;
- plasterboard re-used in landscaping on-site, or returned to supplier for recycling;
- framing timber re-used on-site or recycled elsewhere;
- windows, doors and joinery recycled off-site;
- plumbing, fittings and metal elements recycled off-site;
- All asbestos, hazardous and/or intractable wastes are to be disposed of in accordance with Workcover Authority and EPA requirements;
- Locations of on-site storage facilities for material to be reused on-site, or separated for recycling off-site; and
- Destination and transportation routes of all materials to be either recycled or disposed of off-site.

The following table should be completed by applicants proposing any demolition work. The following details should be shown on your plans.

- Location of on-site storage space for materials (for re-use) and containers for recycling and disposal.
- Vehicle access to the site and to storage and container areas.

Demolition Stage One – To be completed for proposals involving demolition

Materials On-Site		DESTINATION		
		REUSE & RECYCLING		DISPOSAL
Type of Material	Estimated Volume (m3) or Area (m2) or weight (t)	ON-SITE Specify how materials will be reused or recycled on-site	OFF-SITE Specify the <u>contractor</u> and <u>recycling outlet</u>	Specify the <u>contractor</u> and <u>landfill site</u>
EXAMPLE *e.g. bricks	*e.g. 2m3	*e.g. clean & reuse for footings and broken bricks behind retaining walls	*e.g. sent by <u>XYZ Demolishers to ABC Recycling Company</u>	*e.g. nil to landfill
Excavation Material	0.3 m3	Reuse as landfill on site & in landscaping where possible		D.B Excavation
Green Waste	0.2 m3	Composted on site for use in landscaping		
Bricks	3.7 tome	Crushed Material and whole bricks	Contractor: McLean Excavations Recycler: Brandowns, Kemps Creek	Contractor: McLean Excavations 0414 490 505 Landfill: Brandowns Kemps Creek
Tiles	1.2 tone	Crushed Material and whole bricks	Contractor: McLean Excavations Recycler: Brandowns, Kemps Creek	
Concrete	2.1 tone	Crushed Material returned to site for all weather access	Contractor: McLean Excavations Recycler: Brandowns, Kemps Creek	Contractor: McLean Excavations 0414 490 505 Landfill: Brandowns Kemps Creek
Timber – please specify	1.1 tone	Reuse in concrete form work and in new construction where possible, eg. blocking, propping	Surplus to be returned to supplier or sent for recycling- BRAN DOWN	Trimmings & form work to landfill- PACIFIC WASTE
Plasterboard	0.5 tone	Crushed Material returned to site for all weather access	CSR Plasterboard	
Metals	n/a		Excess sent for recycling- BRAN DO	PACIFIC WASTE
Asbestos	n/a			ADVANCED DEMOLITION & EXCAVATION PTY. LTD.
Other waste e.g. ceramic tiles, paints, plastics, PVC tubing, cardboard.	n/a		Excess sent for recycling- BRAN DOWN	Trimmings & form work to landfill- PACIFIC WASTE

Demolition Stage One - continued

How will waste be separated and/or stored onsite for reuse and recycling?

How will site operations be managed to ensure minimal waste creation and maximum reuse and recycling?

e.g. Staff training, selected deconstruction v. straight demolition, waste management requirements stipulated in contracts with sub-contractors, on-going checks by site supervisors, separate area set aside for sorted wastes, clear signage for waste areas etc.

~

The nominated builder will stockpile rubbish on site in general waste and recycling area, this will then sortef into skip bins for pick up by Bingo bins.

Note: Details of the site area to be used for on-site separation, treatment and storage (including weather protection) should be provided on plan drawings accompanying your application.

STAGE TWO – CONSTRUCTION

Stage Two – Potential for Waste Minimisation During Construction Stage

- Consider the following measures that may also save resources and minimise waste at the construction stage:
 - Purchasing Policy – i.e. Ordering the right quantities of materials and prefabrication of materials where possible;
 - Reusing formwork;
 - Minimising site disturbance, limiting unnecessary excavation;
 - Careful source separation of off-cuts to facilitate re-use, resale or efficient recycling;
 - Co-ordination/sequencing of various trades.

How to Estimate Quantities of Waste

- There are many simple techniques to estimate volumes of construction and demolition waste. The information below can be used as a guide by builders, developers & homeowners when completing a waste management plan:

To estimate Your Waste:

- ii. Quantify materials for the project
- iii. Use margin normally allowed in ordering
- iv. Copy these amount of waste into your waste management plan

- When estimating waste the following percentages are building “rule of thumb” and relate to renovations and small home building:

Material	Waste as a Percent of the Total Material Ordered
Timber	5-7%
Plasterboard	5-20%
Concrete	3-5%
Bricks	5-10%
Tiles	2-5%

Converting Volume into Tonnes : A Guide for Conversion

Timber = 0.5 tonnes per m³
Concrete = 2.4 tonne per m³
Bricks = 1.0 tonne per m³
Tiles = 0.75 tonne per m³
Steel = 2.4 tonne per m³

- To improve provide more reliable figures:
 - Compare your projected waste quantities with actual waste produced;
 - Conduct waste audits of current projects;
 - Note waste generated and disposal methods;
 - Look at past waste disposal receipts;
 - Record this information to help estimate future waste management plans.
- On a waste management plan amounts of waste may be stated in – m² or m³ or tonnes (t).

Construction Stage Two – for proposals involving construction

Materials On-Site		DESTINATION		
		REUSE & RECYCLING		DISPOSAL
Type of Material	Estimated Volume (m3) or Area (m2) or weight (t)	ON-SITE Specify how materials will be reused or recycled on-site	OFF-SITE Specify the <u>contractor</u> and <u>recycling outlet</u>	Specify the <u>contractor</u> and <u>landfill site</u>
EXAMPLE *e.g. bricks	*e.g. 2m3	*e.g. clean & reuse for footings and broken bricks behind retaining walls	*e.g. sent by <u>XYZ Demolishers to ABC Recycling Company</u>	*e.g. nil to landfill
Excavation Material	2.2 m3	Resued on site for fill in garden & landscape areas		
Green Waste	1.6 m3	Resued on site for fill in garden & landscape areas		
Bricks	1.75 m3	Crushed on site ans used as raodbase for driveway	Bingo bins to pick up and send to recycle outlet	
Tiles	1.3 m3	Crushed on site ans used as raodbase for driveway	Bingo bins to pick up and send to recycle outlet	
Concrete	1.6 m3	Crushed on site ans used as raodbase for driveway	Bingo bins to pick up and send to recycle outlet	
Timber – please specify	1.8 m3	Excess timber to be chopped up and used as mulch/ fill in the garden areas	Bingo bins to pick up and send to recycle outlet	
Plasterboard	1.5 m3	Excess plasterboard to be chopped up and used as mulch/ fill in the garden areas	Bingo bins to pick up and send to recycle outlet	
Metals			Bingo bins to pick up and send to recycle outlet	
Other waste e.g. ceramic tiles, paints, plastics, PVC tubing, cardboard.	n/a			

e.g. Staff training, selected deconstruction v. straight demolition, waste management requirements stipulated in contracts with sub-contractors, on-going checks by site supervisors, separate area set aside for sorted wastes, clear signage for waste areas etc.

This image shows a full page of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page, typical of notebook paper. There are no margins, text, or other markings on the page.

C:\DOCUME~1\vasarhet\LOCALS~1\Temp\notes49546A\WASTE MANAGEMENT PLAN.doc

STAGE THREE – DESIGN OF FACILITIES

- The following details should be shown on your plans:
 - Location of temporary storage space within each dwelling unit;
 - Location of Waste Storage and recycling Area(s), per dwelling unit or located communally onsite. In the latter case this could be a Garbage & Recycling Room;
 - Details of design for Waste Storage and Recycling Area(s) or Garbage and Recycling Room(s) and any conveyance or volume reduction equipment; and
 - Location of communal composting area.
 - Access for vehicles.
- Every builder shall be provided with a Waste Storage and Recycling Area which is flexible in size and layout to cater for future changes in use. The size is to be calculated on the basis of waste generation rates and proposed bin sizes.

Stage 3 – Design of Facilities – To be completed if designing waste facilities for the proposed development

TYPE OF WASTE TO BE GENERATED	EXPECTED VOLUME PER WEEK	PROPOSED ON-SITE STORAGE AND TREATMENT FACILITIES	DESTINATION
Please specify. For example: glass, paper, food waste, offcuts etc.	Litre or m3	For example: <ul style="list-style-type: none"> waste storage & recycling area garbage chute on-site composting compaction equipment 	<ul style="list-style-type: none"> recycling disposal specify contractor
General Waste -food waste -offcuts -Non-recyclables	Total 280L (140L per unit)	council collection	pick up by council.
Recyclables	Total 280L (140L per Unit)		
Green waste - leaves - Grass	total 280L (140L per unit)		

Note: details of on-site waste management facilities should be provided on plan drawings accompanying your application.

ON-GOING MANAGEMENT

Describe how you intend to ensure on-going management of waste on-site (eg. lease conditions, caretaker/manager on-site).

The owners will take responsibility for on going rubbish collection. They will put the rubbish recycle/ green waste into the nominated council bins and wheel them to the kerb side for council collection weekly.

Thank you for the information.

ESSENTIALS FOR WASTE MANAGEMENT IN MULTI UNIT DWELLINGS (M.U.D)

Many of the issues for good waste management are common across all M.U.D.
The following is the bare minimum that needs to be considered for all M.U.D.

1. Council

- a. What regulations apply?
- b. What are the current Council garbage and recycling services?
 - i. Will Council service the development?
 - ii. If No – seek consultation through a Private Contractor for the best solution for development.
- c. Are the plans to change the service in the future?
- d. Include waste management plan in the DA pre-lodgement meetings.

2. Space

- a. The anticipated volume of waste must be calculated and appropriate waste service selected.
- b. Sufficient space must be allocated for the containers and for manoeuvring – bins, including frontage area, etc.

3. Access – for residents and collectors

- a. Collection vehicles must be able to service the development efficiently and effectively from kerb within confines of the allotment frontage with no need to reverse.
- b. The maximum carting distance between the storage and collection points must be no more than 75m, and no more than 50m for aged persons and persons with a disability.
- c. The bin carting grade must not exceed 1:14.
- d. Bins must not need to be wheeled over steps.
- e. Bulk bins must not need to be manually manoeuvred by a single person to be serviced.

4. Amenity

- a. Noise and odour must be minimised.
- b. Waste areas must be able to be washed, with wash water discharging to sewer.
- c. Vermin must be prevented from entering waste areas and containers.
- d. Equipment must be protected from theft and vandalism.
- e. Waste storage areas must blend in with the development.

5. Management

- a. Signage must be posted in all communal waste storage areas.
- b. Bins must be clearly and correctly labelled.
- c. Responsibility for cleaning of waste storage areas must be determined when designing the system.
- d. Responsibility for transfer of bins must be determined when designing the system.

Council's regulations

Council will only service up to 30 units/townhouses.

Council supplies 1 x 140 litre bin for general waste (1 bin per unit/townhouse)

Council supplies 1 x 240 litre bin for recycling to be shared (1 between 2 unit/townhouse)

A 240 litre bin is provided for green waste – upon request from strata management.

No services are available to private roads.

Commercial Services

Under the current contract Council does not automatically offer services to this industry & is not in the business of removing trade waste.

Services are available to small business where a limited amount of waste is generated. Option of 140 or 240 litre bins.

CBD is serviced 6 days/per week, however, charges are calculated on the number of weekly services.

Retail & Food industries that generate large volumes of waste generally use the services of private contractors.

No Council recycling services are available to this sector under the current contract, however, this could change from 1/7/06.

Council's waste service collection

General waste collected weekly.

Recycling collected alternate fortnights.

Green waste alternate fortnights.

Standard general waste bin size can be increased to a 240 litre bin, however will incur an additional charge and is required in writing from the strata management or owner.

Bin dimensions:

140 litre bin:

Normal volume:	140 litres
Net weight:	approx 10.4 kg
Maximum load:	56 kg
Permitted total weight:	70 kg
Height	925mm
Width	535mm
Depth	615mm

240 litre bin:

Normal volume:	240 litres
Net weight:	approx 12.3 kg
Maximum load:	96 kg
Permitted total weight:	110 kg
Height	1060mm
Width	585mm
Depth	730mm

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1749382

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Tuesday, 28 May 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address

Project name	8 VALLEY ROAD EASTWOOD 2122
Street address	8 VALLEY Road EASTWOOD 2122
Local Government Area	Parramatta City Council
Plan type and number	Deposited Plan DP7004
Lot number	7
Section number	-

Project type

Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: BONNEFIN CONSULTING PTY LTD

ABN (if applicable): 95164564210

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil	N/A			
floor above existing dwelling or building.	nil	N/A			
external wall: brick veneer	R1.16 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓


Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W.01	N	0.54	1.7	5.2	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W.02	N	3.36	2.5	5.2	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
W.03	N	1.44	1.7	5.2	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
W.04	E	5.88	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
D.GZ.01	E	10.56	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			


Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D.GZ.02	E	8.64	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
W_ex1	W	1.73	0	0	none	aluminium, single Lo- Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W.05	S	1.62	3.2	9.2	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W.06	N	2.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W.07	N	2.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			


Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D.GZ.03	E	7.92	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D.GZ.04	E	7.92	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W.08	S	1.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W.09	S	0.72	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

ADEXT ARCHITECTS

www.adextarchitects.com.au

A: 2a Elsie Street, Burwood
E: info@adextarchitects.com.au
T: 0468 687 966 | Architect Reg#. 9119

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB, REVISED	B.S	J.W

DRAWING SCHEDULE

Number	Sheet Name	Date
0.0	Cover Sheet	23/06/2024
1.0	Site Plan	23/06/2024
1.1	Landscape Plan	23/06/2024
2.0	Lower Ground Floor - Demolition	23/06/2024
2.1	Lower Ground Floor Plan	23/06/2024
2.2	Upper Ground Floor - Demolition	23/06/2024
2.3	Upper Ground Floor Plan	23/06/2024
2.4	Roof - Demolition	23/06/2024
2.5	Roof Plan	23/06/2024
5.0	Elevation - West	23/06/2024
5.1	Elevation - East	23/06/2024
5.2	Elevation - North	23/06/2024
5.3	Elevation - South	23/06/2024
6.0	Section	23/06/2024
7.0	Shadow Diagram - 9AM ON 22 JUNE	23/06/2024
7.1	Shadow Diagram - 12PM ON 22 JUNE	23/06/2024
7.2	Shadow Diagram - 3PM ON 22 JUNE	23/06/2024
9.0	GFA Calculations	23/06/2024
10.0	Schedules	23/06/2024
11.0	3D View	23/06/2024
11.1	3D View	23/06/2024
11.2	3D View	23/06/2024
11.3	3D View	23/06/2024

PROJECT ADDRESS:

8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

CLIENT:

Mr & Mrs Zhou

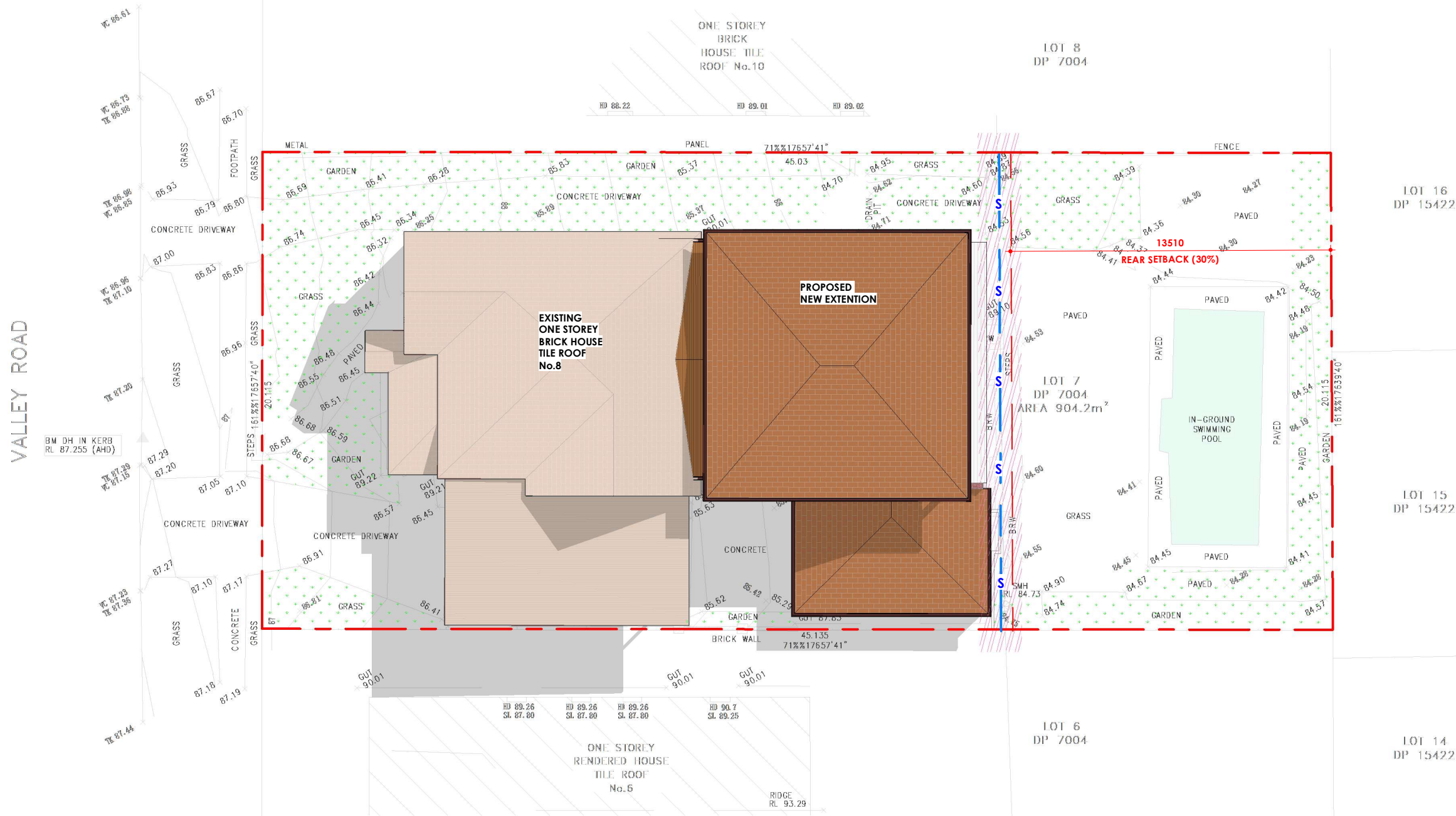
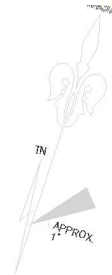
DRAWN:

Bohan SUN

CHECKED:

Jun WANG





1 6.0 SITE .PL
1 : 200

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. ALL DIMENSIONS AND SETOUTS ARE TO BE VERIFIED ON SITE
3. ANY OMISSIONS OR DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER
4. DO NOT SCALE. FIGURED DIMENSIONS TO BE USED AT ALL TIME
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE & AUSTRALIAN STANDARDS
6. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS

COMMENTS:

ADEXT
ARCHITECTS
DESIGN • CONSTRUCTION • CONSULTATION

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

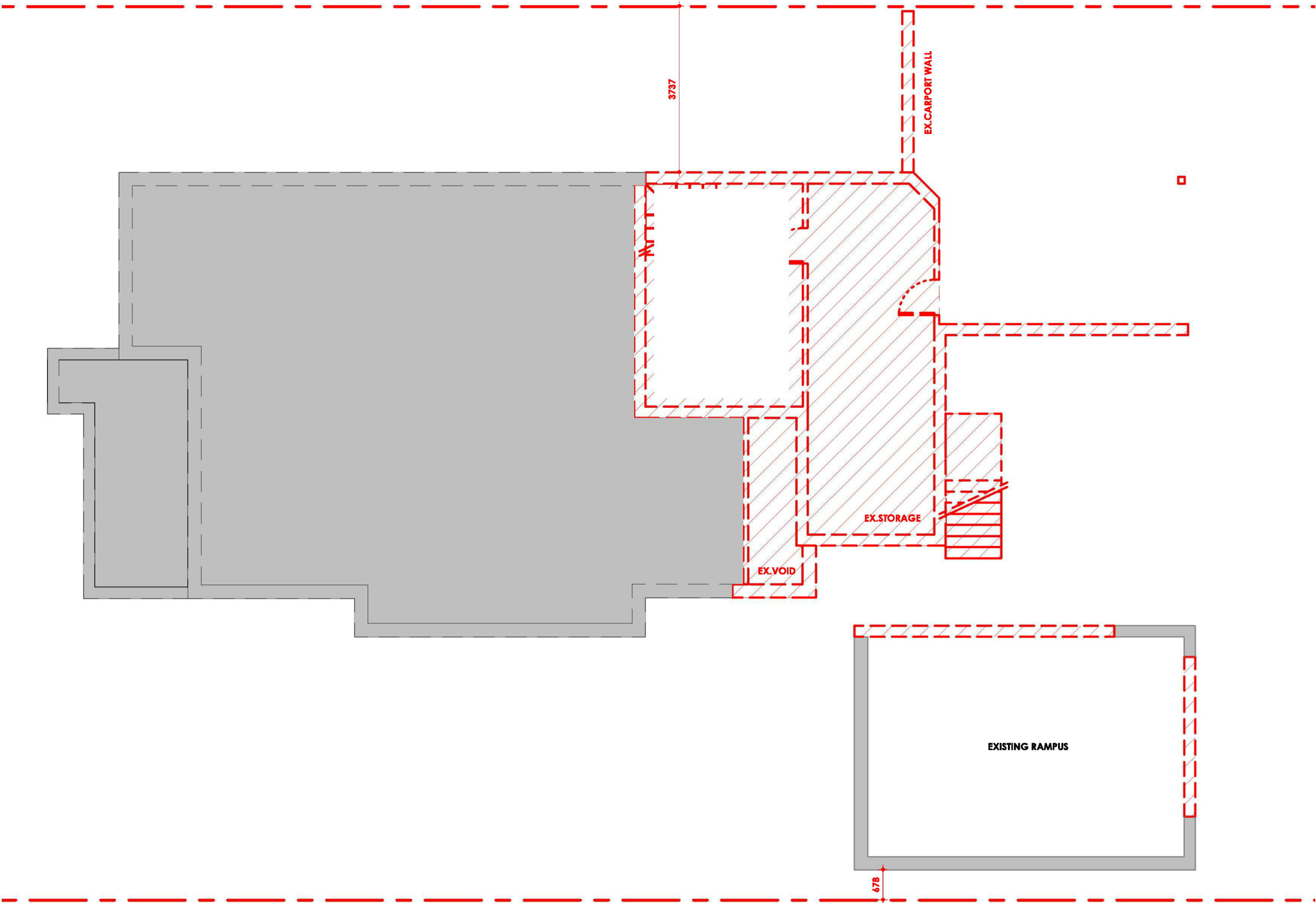
PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 1.0	REVISION NO: D2	
DRAWING TITLE: Site Plan		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		

1 0.1. GARAGE.PL. DEMOLITION

1 : 100



LEGEND	
	DEMOLITION



OBJECTIVES

TO ENSURE THAT NECESSARY MEASURES ARE EMPLOYED ON THE SITE THAT PROTECT BOTH THE NEIGHBOURHOOD AMENITY AND THE SURROUNDING ENVIRONMENT AND MINIMISE SITE DEGRADATION. THE RECYCLING OF MATERIALS WILL REDUCE TIPPING COSTS.

RESPONSIBILITY

THE CONTRACTOR WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS INCLUDES ASSUMING RESPONSIBILITY FOR THE ACTIONS OF ALL THE SUBCONTRACTORS AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE VIEWED ALL APPROVED PLANS PRIOR TO THE COMMENCEMENT OF DEMOLITION, EARTHWORKS AND CONSTRUCTION WORKS.

COUNCIL PROPERTY

COUNCIL PROPERTY IS NOT TO BE USED FOR CONSTRUCTION OR STORAGE ACTIVITIES UNLESS PRIOR WRITTEN APPROVAL HAS BEEN OBTAINED. COUNCIL PROPERTY IS NOT TO BE DAMAGED AND IS TO BE KEPT IN A CLEAN, SAFE AND FUNCTIONAL CONDITION BEFORE, DURING AND ON COMPLETION OF THE WORKS. SHOULD ANY COUNCIL PROPERTY INCLUDING FOOTPATHS BE INADVERTENTLY DAMAGED AS A RESULT OF THE WORKS, COUNCIL MUST BE NOTIFIED IMMEDIATELY.

HAZARDOUS

MATERIALS ASBESTOS CEMENT SHEETING IF ENCOUNTERED IS TO BE WRAPPED TIGHTLY IN PLASTIC TO COMPLY WITH THE AUSTRALIAN STANDARD AND WORK COVER AUTHORITIES' REQUIREMENTS AND TAKEN TO AN APPROVED LANDFILL TIP.

BUILDING MATERIAL

STOCKPILE AT NO TIME MAY BUILDING MATERIALS OR STOCKPILES BE SITUATED ON A PUBLIC RESERVE, ROAD GUTTER OR FOOTPATH, THIS INCLUDES BUILDING OR DEMOLITION MATERIAL, WASTE CONTAINERS, PORTABLE SHEDS, PORTABLE TOILETS AND THE LIKE. ALL BUILDING MATERIALS ARE TO BE STORED WITHIN THE SEDIMENT FENCE ENVELOPE OF THE SUBJECT SITE. ALL LOOSE MATERIAL TO BE COVERED WITH TARPULINS. A SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS ETC. AS REQUIRED. THE FEASIBILITY OF THE NOMINATED SITE FOR THE STOCKPILE MUST BE CONFIRMED PRIOR TO COMMENCEMENT.

DUST CONTROL

APPROPRIATE METHODS ARE TO BE USED TO PREVENT WIND BLOWN DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR ADJOINING PROPERTIES. WHERE DUST IS CREATED AS A RESULT OF THE WORKS OR SOIL EXPOSURE, THE BARE SOIL AREAS ARE TO BE WATERED DURING THE DAY AND AT THE END OF DAY TO LAY THE DUST. AVOID EARTH MOVING ACTIVITIES WHEN THE WIND IS STRONG ENOUGH TO RAISE VISIBLE DUST.

CONTAINMENT OF SITE WASTE

BUILDING MATERIALS MUST NOT BE BURIED ON SITE. DEMOLITION WASTE RESULTING FROM THE WORKS IS NOT TO BE STORED ON FOOTPATHS, STREET GUTTERS OR ROADWAYS ETC. ALL WASTE TO BE PLACED IN RUBBISH SKIPS OR CONTAINERS FOR COLLECTION.

VEHICLE MOVEMENTS

ALL VEHICLES VISITING THE SITE ARE TO COMPLY WITH THE PARKING REGULATIONS IN THE AREA. ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE. ALL POLLUTED WATERS ARE TO REMAIN ON SITE FOR TREATMENT. ALL TRUCKS AND UTILITIES MUST COVER THEIR LOADS. NO VEHICLE VISITING THE SITE IS TO IMPEDE LOCAL AREA TRAFFIC FLOWS. A LICENSED PERSON WILL DIRECT TRAFFIC AND PEDESTRIANS WHEN TRUCKS ENTER THE SITE.

STORMWATER DRAINAGE NOTE

THE EXISTING STORMWATER DRAINAGE SYSTEM TO BE RENEWED IF DIRECTED BY LICENSED PLUMBER AND ERECTED IN ACCORDANCE WITH CLAUSE F1.1 OF VOLUME 1 AND PART 3.1.2 OF VOLUME 2 OF THE BCA PROVIDE THAT STORMWATER DRAINAGE COMPLYING WITH AS/NZS 3500.3 PLUMBING AND DRAINAGE - PART 3: STORMWATER IS DEEMED-TO-SATISFY THE BCA. COUNCIL'S SPECIFICATIONS APPLY TO ALL WORKS IN ANY ROAD OR PUBLIC SPACE. ALL ADDITIONAL ROOF WATER TO BE CONNECTED TO EXISTING STORMWATER SYSTEM & DISCHARGED TO RIGHT OF WAY VIA GRAVITY. IMPERMEABLE AREA TO REMAIN AS EXISTING. O.S.D. NOT REQUIRED.

OPERATING HOURS

TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION / EXCAVATION /CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT. NO PLANT OR MACHINERY MAY MOVE ON OR OFF THE SITE OUTSIDE OF RESTRICTED HOURS OF OPERATION. LARGE EXCAVATION VEHICLES WAITING TO COMMENCE WORK MUST BE REMOTELY LOCATED FROM THE SITE SO AS NOT TO AFFECT THE LOCAL AMENITY. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONTRAVENTION BY SUBCONTRACTORS OF THESE CONDITIONS.

ACCESS POINT

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT. A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL. FORM VEHICLE CROSSING FROM 150x50 HARDWOOD PLANKS, CHAMFERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600 C/C.

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

NOTES:

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3. ANY OMISSIONS OR DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER
4. DO NOT SCALE. FIGURED DIMENSIONS TO BE USED AT ALL TIME
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE & AUSTRALIAN STANDARDS
6. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS

COMMENTS:



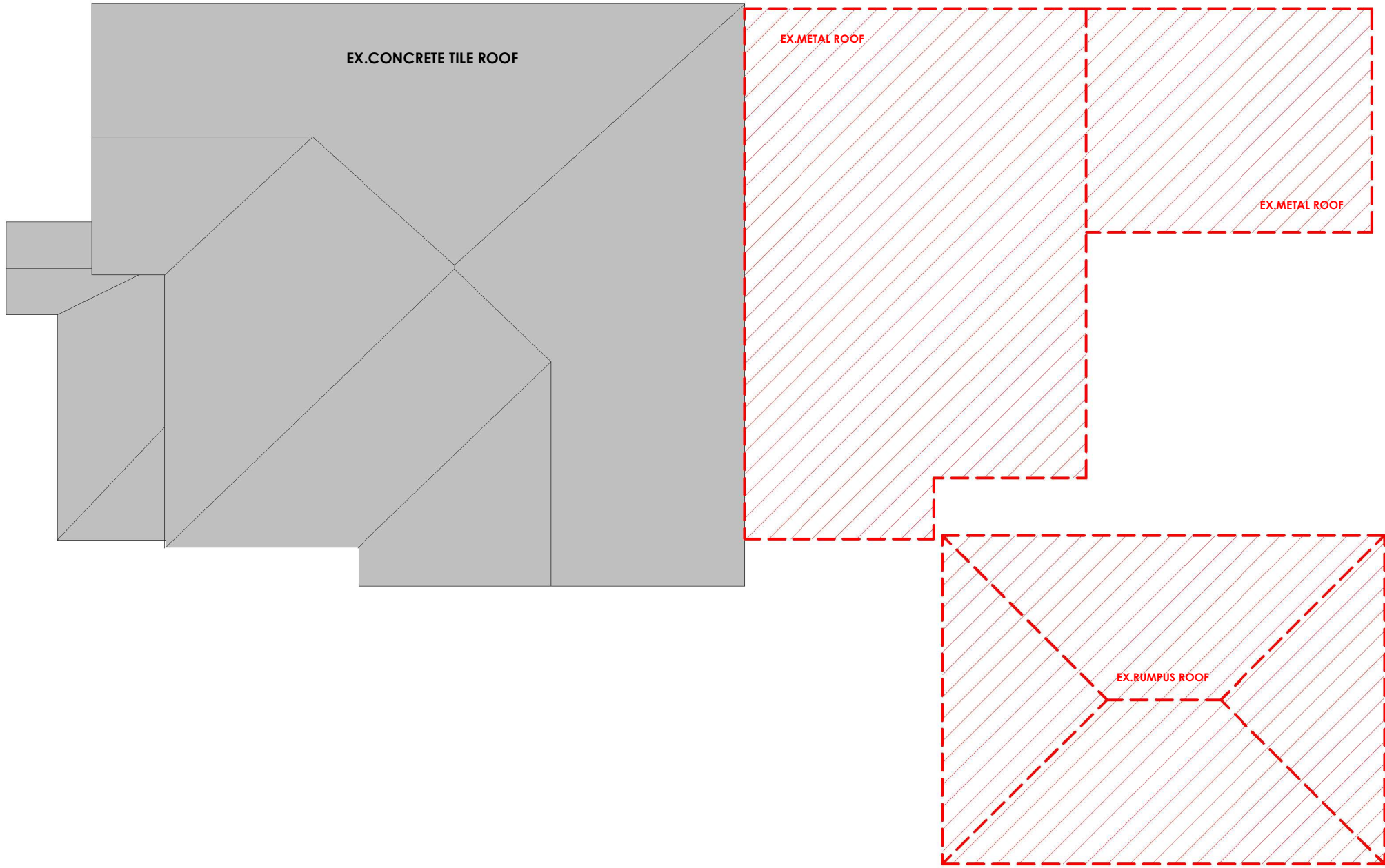
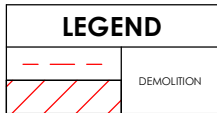
PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001		PROJECT STATUS: DA SUBMISSION	NORTH POINT: 
DRAWING NUMBER: 2.0	REVISION NO: D2		
DRAWING TITLE: Lower Ground Floor - Demolition			
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE: A3 AS INDICATED	
CHECKED:	Jun WANG		

1

5.1 ROOF. DEMOLITION

1 : 100



OBJECTIVES

TO ENSURE THAT NECESSARY MEASURES ARE EMPLOYED ON THE SITE THAT PROTECT BOTH THE NEIGHBOURHOOD AMENITY AND THE SURROUNDING ENVIRONMENT AND MINIMISE SITE DEGRADATION. THE RECYCLING OF MATERIALS WILL REDUCE TIPPING COSTS.

RESPONSIBILITY

THE CONTRACTOR WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS INCLUDES ASSUMING RESPONSIBILITY FOR THE ACTIONS OF ALL THE SUBCONTRACTORS AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE VIEWED ALL APPROVED PLANS PRIOR TO THE COMMENCEMENT OF DEMOLITION, EARTHWORKS AND CONSTRUCTION WORKS.

COUNCIL PROPERTY

COUNCIL PROPERTY IS NOT TO BE USED FOR CONSTRUCTION OR STORAGE ACTIVITIES UNLESS PRIOR WRITTEN APPROVAL HAS BEEN OBTAINED. COUNCIL PROPERTY IS NOT TO BE DAMAGED AND IS TO BE KEPT IN A CLEAN, SAFE AND FUNCTIONAL CONDITION BEFORE, DURING AND ON COMPLETION OF THE WORKS. SHOULD ANY COUNCIL PROPERTY INCLUDING FOOTPATHS BE INADVERTENTLY DAMAGED AS A RESULT OF THE WORKS, COUNCIL MUST BE NOTIFIED IMMEDIATELY.

HAZARDOUS

MATERIALS ASBESTOS CEMENT SHEETING IF ENCOUNTERED IS TO BE WRAPPED TIGHTLY IN PLASTIC TO COMPLY WITH THE AUSTRALIAN STANDARD AND WORK COVER AUTHORITIES' REQUIREMENTS AND TAKEN TO AN APPROVED LANDFILL TIP.

BUILDING MATERIAL

STOCKPILE AT NO TIME MAY BUILDING MATERIALS OR STOCKPILES BE SITUATED ON A PUBLIC RESERVE, ROAD GUTTER OR FOOTPATH, THIS INCLUDES BUILDING OR DEMOLITION MATERIAL, WASTE CONTAINERS, PORTABLE SHEDS, PORTABLE TOILETS AND THE LIKE. ALL BUILDING MATERIALS ARE TO BE STORED WITHIN THE SEDIMENT FENCE ENVELOPE OF THE SUBJECT SITE. ALL LOOSE MATERIAL TO BE COVERED WITH TARPULINS. A SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS ETC. AS REQUIRED. THE FEASIBILITY OF THE NOMINATED SITE FOR THE STOCKPILE MUST BE CONFIRMED PRIOR TO COMMENCEMENT.

DUST CONTROL

APPROPRIATE METHODS ARE TO BE USED TO PREVENT WIND BLOWN DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR ADJOINING PROPERTIES. WHERE DUST IS CREATED AS A RESULT OF THE WORKS OR SOIL EXPOSURE, THE BARE SOIL AREAS ARE TO BE WATERED DURING THE DAY AND AT THE END OF DAY TO LAY THE DUST. AVOID EARTH MOVING ACTIVITIES WHEN THE WIND IS STRONG ENOUGH TO RAISE VISIBLE DUST.

CONTAINMENT OF SITE WASTE

BUILDING MATERIALS MUST NOT BE BURIED ON SITE. DEMOLITION WASTE RESULTING FROM THE WORKS IS NOT TO BE STORED ON FOOTPATHS, STREET GUTTERS OR ROADWAYS ETC. ALL WASTE TO BE PLACED IN RUBBISH SKIPS OR CONTAINERS FOR COLLECTION.

VEHICLE MOVEMENTS

ALL VEHICLES VISITING THE SITE ARE TO COMPLY WITH THE PARKING REGULATIONS IN THE AREA. ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE. ALL POLLUTED WATERS ARE TO REMAIN ON SITE FOR TREATMENT. ALL TRUCKS AND UTILITIES MUST COVER THEIR LOADS. NO VEHICLE VISITING THE SITE IS TO IMPEDE LOCAL AREA TRAFFIC FLOWS. A LICENSED PERSON WILL DIRECT TRAFFIC AND PEDESTRIANS WHEN TRUCKS ENTER THE SITE.

STORMWATER DRAINAGE NOTE

THE EXISTING STORMWATER DRAINAGE SYSTEM TO BE RENEWED IF DIRECTED BY LICENSED PLUMBER AND ERECTED IN ACCORDANCE WITH CLAUSE F1.1 OF VOLUME 1 AND PART 3.1.2 OF VOLUME 2 OF THE BCA PROVIDE THAT STORMWATER DRAINAGE COMPLYING WITH AS/NZS 3500.3 PLUMBING AND DRAINAGE - PART 3: STORMWATER IS DEEMED-TO-SATISFY THE BCA. COUNCIL'S SPECIFICATIONS APPLY TO ALL WORKS IN ANY ROAD OR PUBLIC SPACE. ALL ADDITIONAL ROOF WATER TO BE CONNECTED TO EXISTING STORMWATER SYSTEM & DISCHARGED TO RIGHT OF WAY VIA GRAVITY. IMPERMEABLE AREA TO REMAIN AS EXISTING. O.S.D. NOT REQUIRED.

OPERATING HOURS

TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION / EXCAVATION /CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT. NO PLANT OR MACHINERY MAY MOVE ON OR OFF THE SITE OUTSIDE OF RESTRICTED HOURS OF OPERATION. LARGE EXCAVATION VEHICLES WAITING TO COMMENCE WORK MUST BE REMOTELY LOCATED FROM THE SITE SO AS NOT TO AFFECT THE LOCAL AMENITY. THE CONTRACTOR IS REPONSIBLE FOR ANY CONTRAVENTION BY SUBCONTRACTORS OF THESE CONDITIONS.

ACCESS POINT

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT. A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL. FORM VEHICLE CROSSING FROM 150x50 HARDWOOD PLANKS, CHAMFERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600 C/C.

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:



ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:

ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:

8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

CLIENT:

Mr & Mrs Zhou

PROJECT NUMBER:

2307001

DRAWING NUMBER:

2.4

DRAWING TITLE:

Roof - Demolition

DRAWN:

Bohan SUN

CHECKED:

Jun WANG

PROJECT STATUS:

DA SUBMISSION

REVISION NO:

D2

DATE:

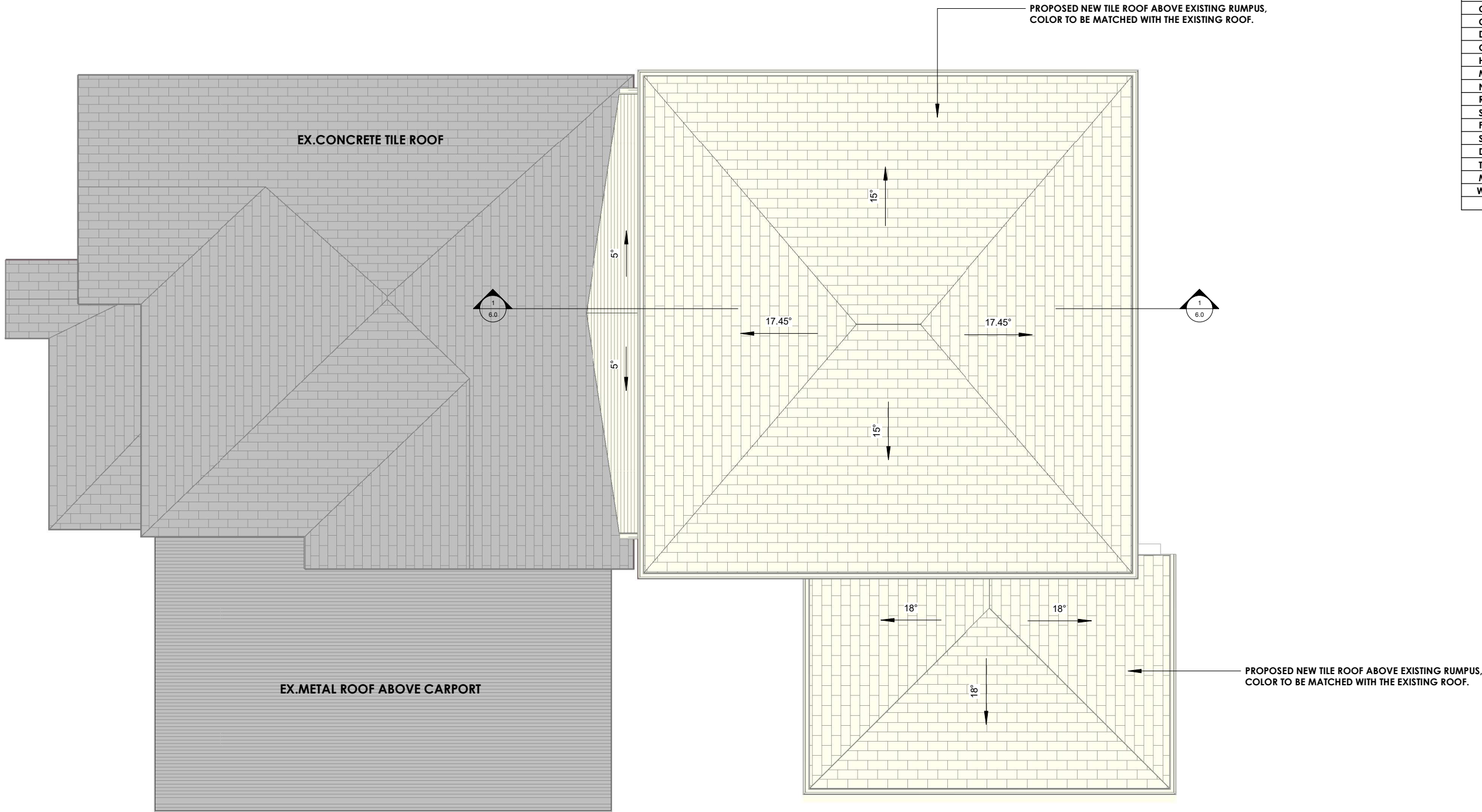
23/06/2024

NORTH POINT:



SCALE@A3
AS INDICATED

CODE LEGEND	
CODE	DESCRIPTION
ACU	AIR CONDITIONING UNIT
CF	CEILING FAN
CO	EXHAUST/LIGHT/HEATER 3 IN 1 COMBO
DP	DOWNPIPE
GM	GAS METER
HWS	HOT WATER SERVICE
MB	METER BOX
NBN	NBN BOX
RWT	RAINWATER TANK
SM	SMOKE ALARM
FD	FLOOR DRAIN
SP	STACK POINT
DL	DOWNLIGHT
TAP	WATER TAP
MH	MANHOLE
W/D	WASHING MACHINE/DRYER
F	FRIDGE



1 5.0 ROOF. PL
1 : 100

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
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COMMENTS:

ADEXT
ARCHITECTS
DESIGN • CONSTRUCTION • CONSULTATION

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A: 2a B9le St, Burwood, NSW 2134
M: 0468 687 966
www.adextarchitects.com.au

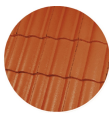
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JUN WANG
NSW ARB# 9119


PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou


PROJECT NUMBER: 2307001		PROJECT STATUS: DA SUBMISSION	NORTH POINT: 
DRAWING NUMBER: 2.5		REVISION NO: D2	
DRAWING TITLE: Roof Plan			
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED	
CHECKED: Jun WANG			


MATERIAL COLOR SCHEDULE


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- 

RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- 

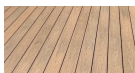
RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- 


W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- 


W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- 

GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- 

WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)









- 

TIMBER DECKING
COLOR: MEDIUM
- 

FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- 

RAILING
COLOR: WHITE

WINDOW LEGEND

			
FIXED	AWINING	SLIDING	CASEMENT
			
HUNG	LOUVRE	OBSCURE	DOUBLE GLAZED

IN ACCORDANCE WITH D2.24 (PROTECTION OF OPENABLE WINDOWS) OF THE BCA, WHERE FLOOR LEVEL IS > 2m ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS < 1.7m, ANY OPERABLE WINDOW IN A BEDROOM MUST RESTRICTED TO A 125mm MAX. OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS > 4m.

MATERIAL CODE LEGEND	
CODE	DESCRIPTION
RF.#	ROOF
W.E.#	WALL, EXTERIOR
D.GA.#	DOOR, GARAGE

1

West Elevation

1 : 100 VALLEY ROAD VIEW



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:

ADEXT

ARCHITECTS

DESIGN • CONSTRUCTION • CONSULTATION

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M: 0468 687 966
www.adextarchitects.com.au

ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 5.0	REVISION NO: D2	
DRAWING TITLE: Elevation - West		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		

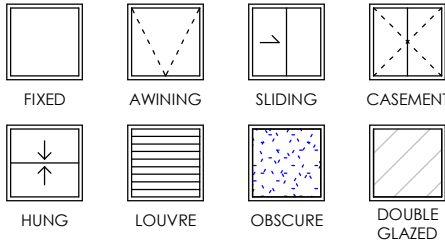
MATERIAL COLOR SCHEDULE

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- RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)

- TIMBER DECKING
COLOR: MEDIUM
- FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- RAILING
COLOR: WHITE

WINDOW LEGEND

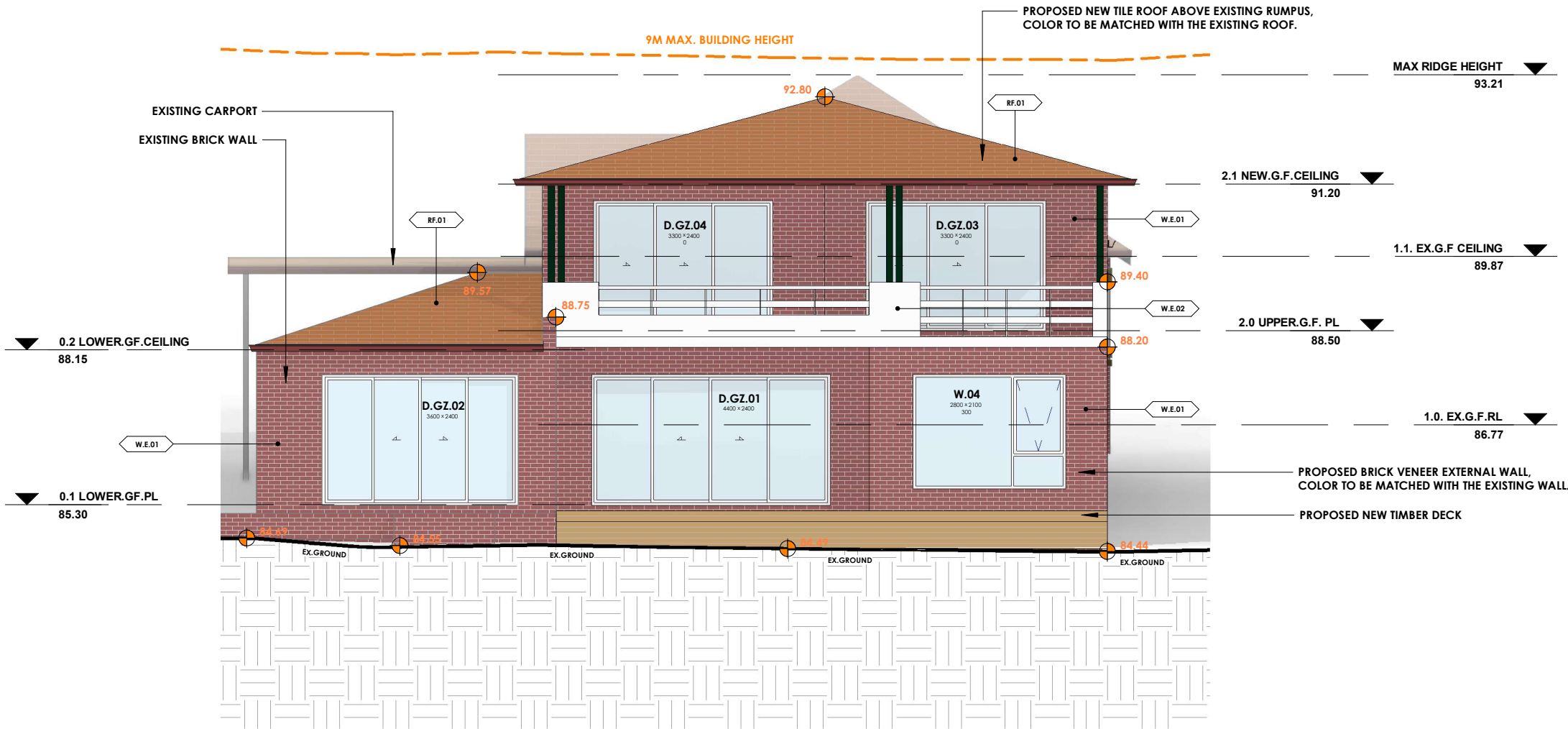


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MATERIAL CODE LEGEND

CODE	DESCRIPTION
RF.#	ROOF
W.E.#	WALL, EXTERIOR
D.GA.#	DOOR, GARAGE

1 East Elevation
1 : 100



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
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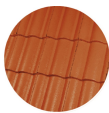



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ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 5.1	REVISION NO: D2	
DRAWING TITLE: Elevation - East		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		


MATERIAL COLOR SCHEDULE


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- 

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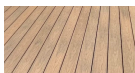
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BRAND: JAMES HARDIE
COLOR: WHITE
- 

GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- 

WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)









- 

TIMBER DECKING
COLOR: MEDIUM
- 

FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- 

RAILING
COLOR: WHITE

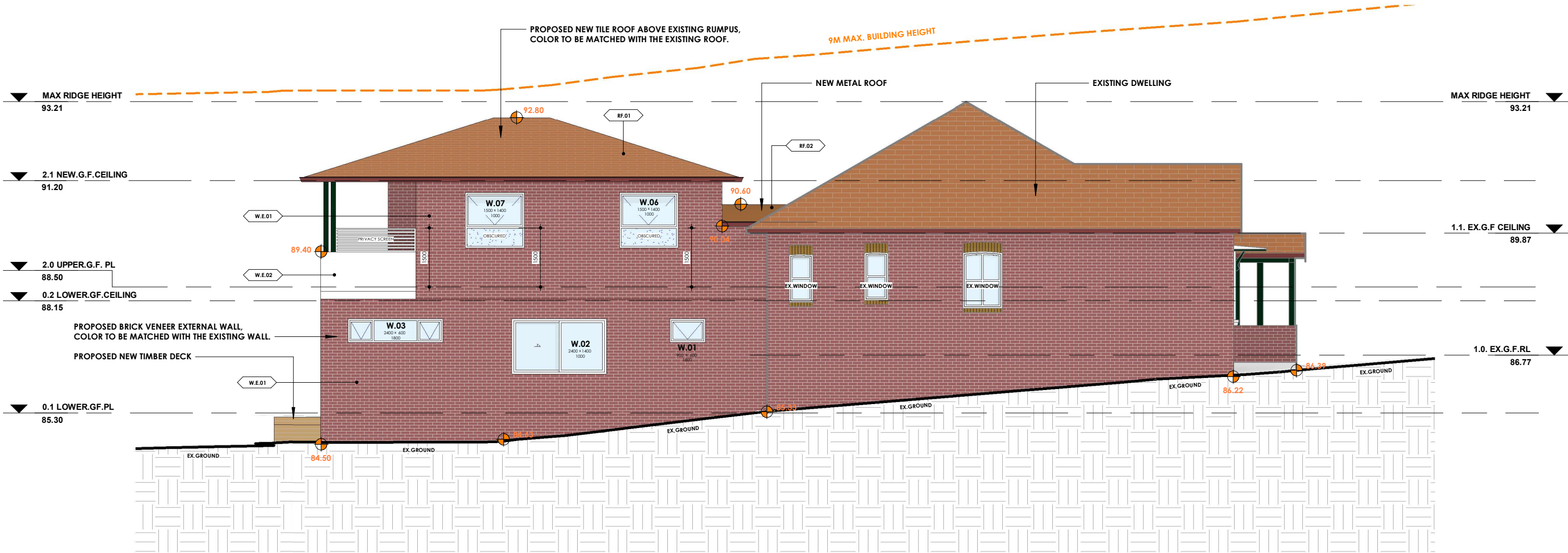
WINDOW LEGEND

			
FIXED	AWINING	SLIDING	CASEMENT
			
HUNG	LOUVRE	OBSCURE	DOUBLE GLAZED

IN ACCORDANCE WITH D2.24 (PROTECTION OF OPENABLE WINDOWS) OF THE BCA, WHERE FLOOR LEVEL IS > 2m ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS < 1.7m, ANY OPERABLE WINDOW IN A BEDROOM MUST RESTRICTED TO A 125mm MAX. OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS > 4m.

MATERIAL CODE LEGEND	
CODE	DESCRIPTION
RF.#	ROOF
W.E.#	WALL, EXTERIOR
D.GA.#	DOOR, GARAGE

1 North Elevation
1 : 100



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
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D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:



ARCHITECTS

DESIGN • CONSTRUCTION • CONSULTATION

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE

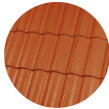
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CLIENT:
Mr & Mrs Zhou


PROJECT NUMBER: 2307001		PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 5.2		REVISION NO: D2	
DRAWING TITLE: Elevation - North			
DRAWN: Bohan SUN Jun WANG		DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED:			


MATERIAL COLOR SCHEDULE


NOTE: THE CLIENTS, CONTRACTOR OR BUILDER RETAINS THE RIGHTS TO SELECT OR DECIDE THE BUILDING MATERIALS INCLUDING BUT NOT LIMITED TO FACE BRICK, RENDERING, ROOFING, AND CLADDING IN THE SIMILAR COLORS.


- 

RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- 

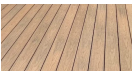
RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- 


W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- 


W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- 

GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- 

WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)









- 

TIMBER DECKING
COLOR: MEDIUM
- 

FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- 

RAILING
COLOR: WHITE

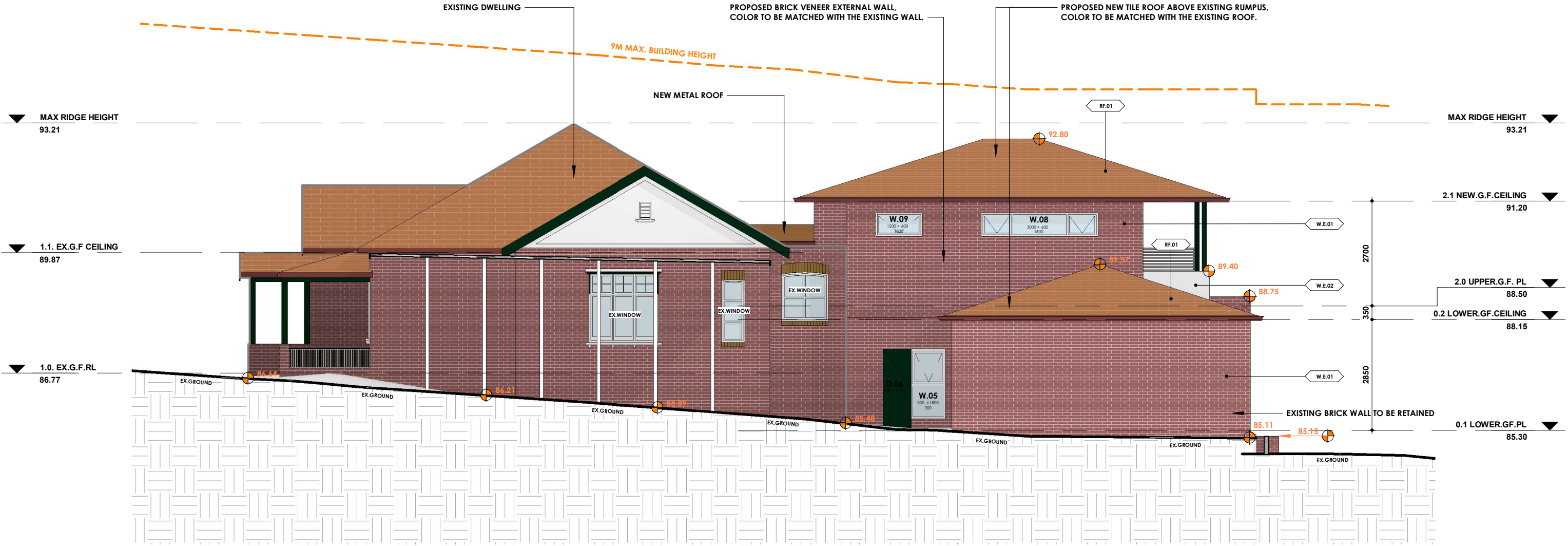
WINDOW LEGEND

			
FIXED	AWINING	SLIDING	CASEMENT
			
HUNG	LOUVRE	OBSCURE	DOUBLE GLAZED

IN ACCORDANCE WITH D2.24 (PROTECTION OF OPENABLE WINDOWS) OF THE BCA, WHERE FLOOR LEVEL IS > 2m ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS < 1.7m, ANY OPERABLE WINDOW IN A BEDROOM MUST RESTRICTED TO A 125mm MAX. OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS > 4m.

MATERIAL CODE LEGEND	
CODE	DESCRIPTION
RF.#	ROOF
W.E.#	WALL, EXTERIOR
D.GA.#	DOOR, GARAGE

1 South Elevation
1 : 100



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

NOTES:

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- ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS

COMMENTS:



ARCHITECTS

DESIGN • CONSTRUCTION • CONSULTATION

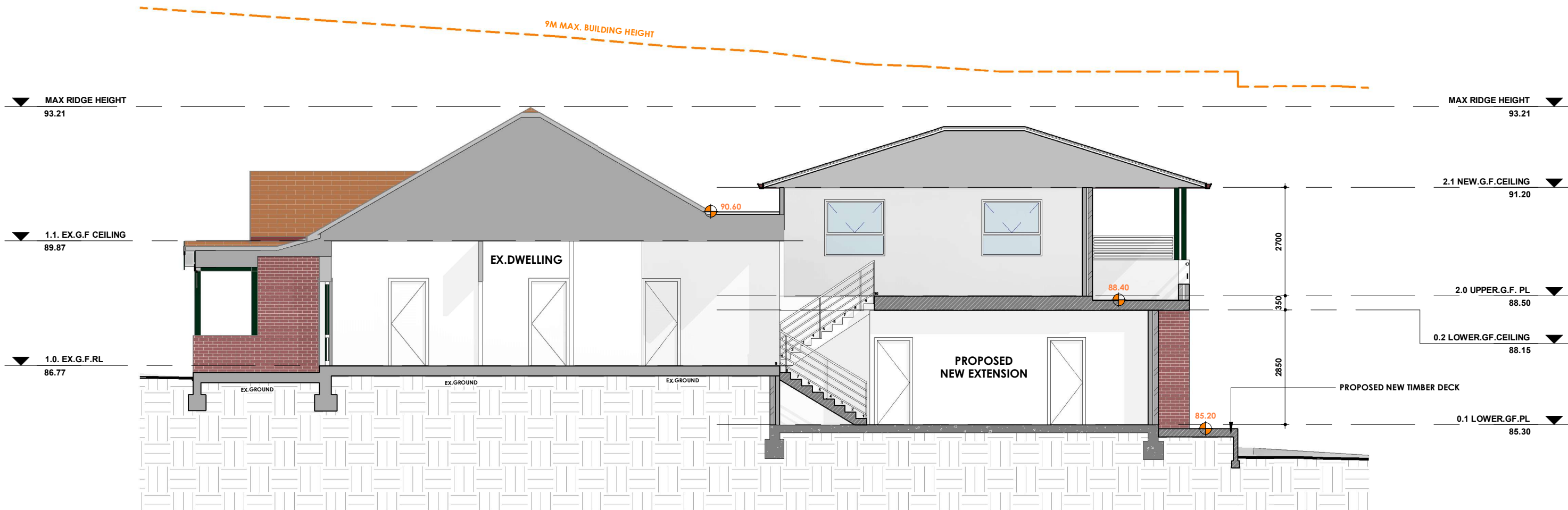
E: info@adextarchitects.com.au
A: 2a Bisle St, Burwood, NSW 2134
M: 0468 687 966
www.adextarchitects.com.au

ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001		PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 5.3		REVISION NO: D2	
DRAWING TITLE: Elevation - South			
DRAWN: Bohan SUN	DATE: 23/06/2024		SCALE@A3 AS INDICATED
CHECKED: Jun WANG			

1 Section 1
1 : 100



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:

ADEXT
ARCHITECTS
DESIGN • CONSTRUCTION • CONSULTATION

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:

ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:

8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

CLIENT:

Mr & Mrs Zhou

PROJECT NUMBER:

2307001

DRAWING NUMBER:

6.0

DRAWING TITLE:

Section

DRAWN:

Bohan SUN

CHECKED:

Jun WANG

PROJECT STATUS:

DA SUBMISSION

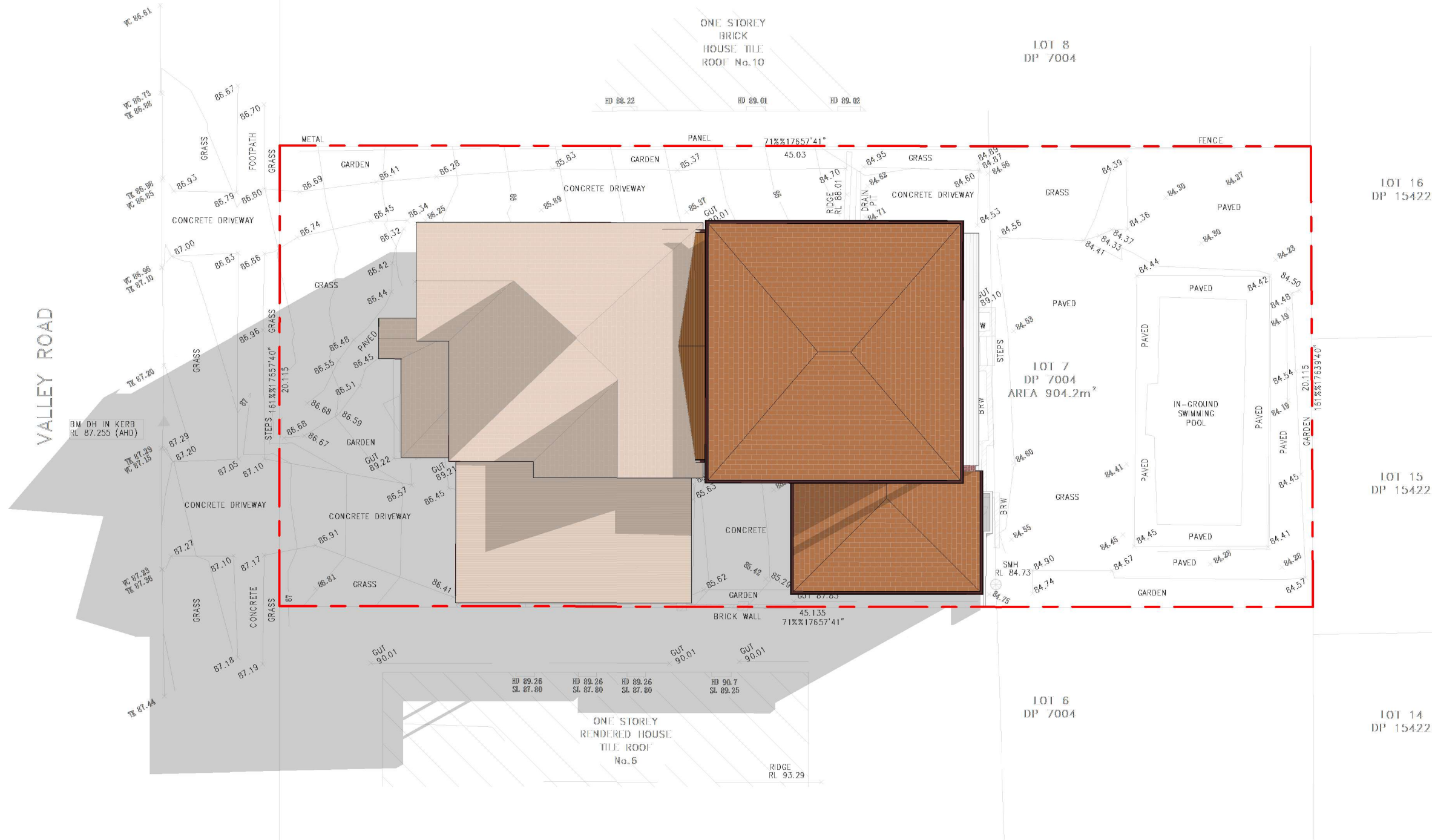
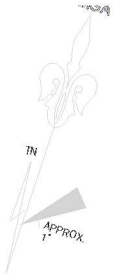
REVISION NO:

D2

DATE:
23/06/2024

NORTH POINT:

SCALE: A3
AS INDICATED



1 12. 9AM ON 22 JUNE
1 : 200

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:

ADEXT

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

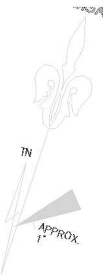
PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

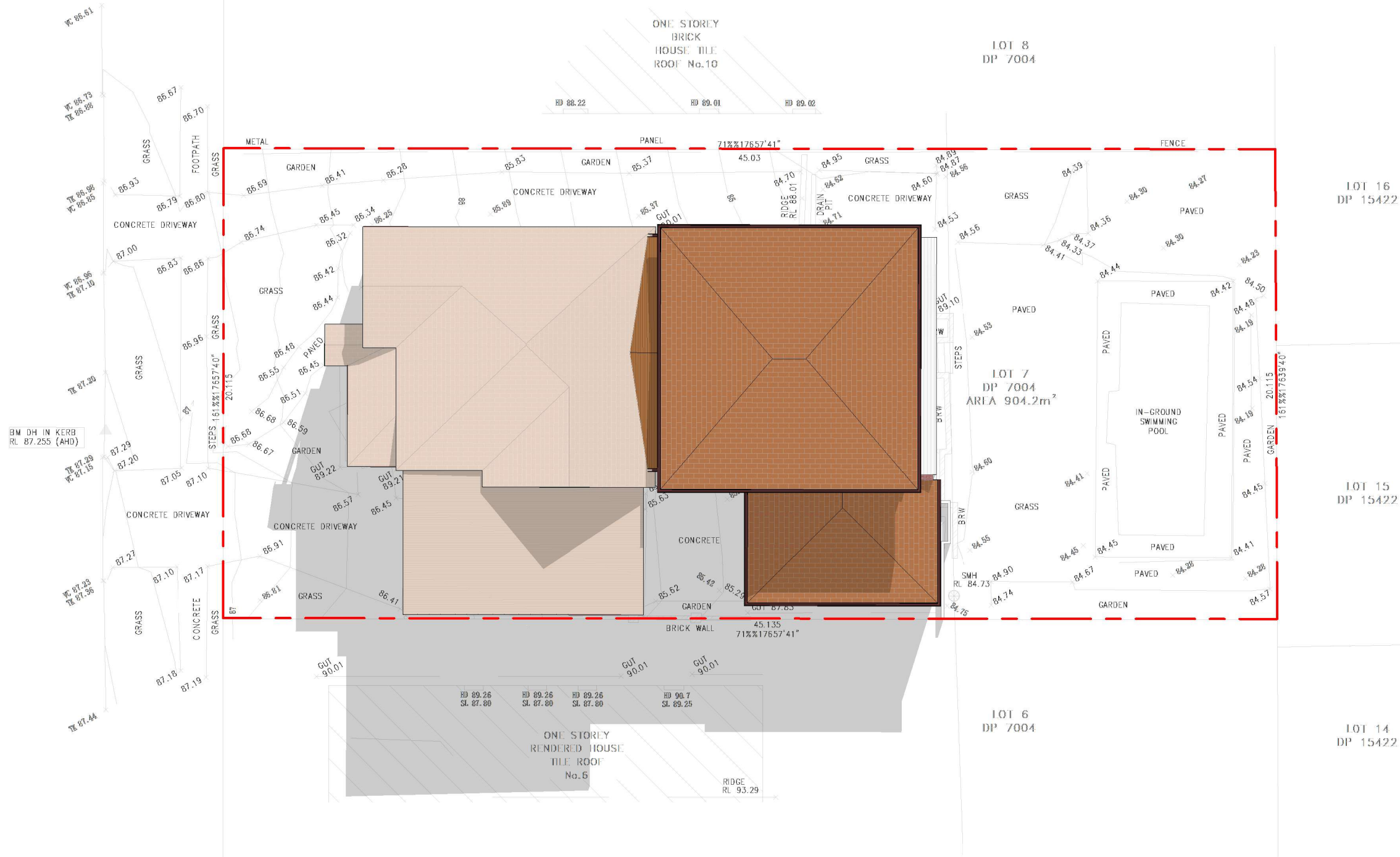
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 7.0	REVISION NO: D2	
DRAWING TITLE: Shadow Diagram - 9AM ON 22 JUNE		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		

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VALLEY ROAD



12. 12PM ON 22 JUNE
1 : 200

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER:
2307001
DRAWING NUMBER:
7.1
PROJECT STATUS:
DA SUBMISSION
REVISION NO:
D2

DRAWING TITLE:
Shadow Diagram - 12PM ON 22 JUNE

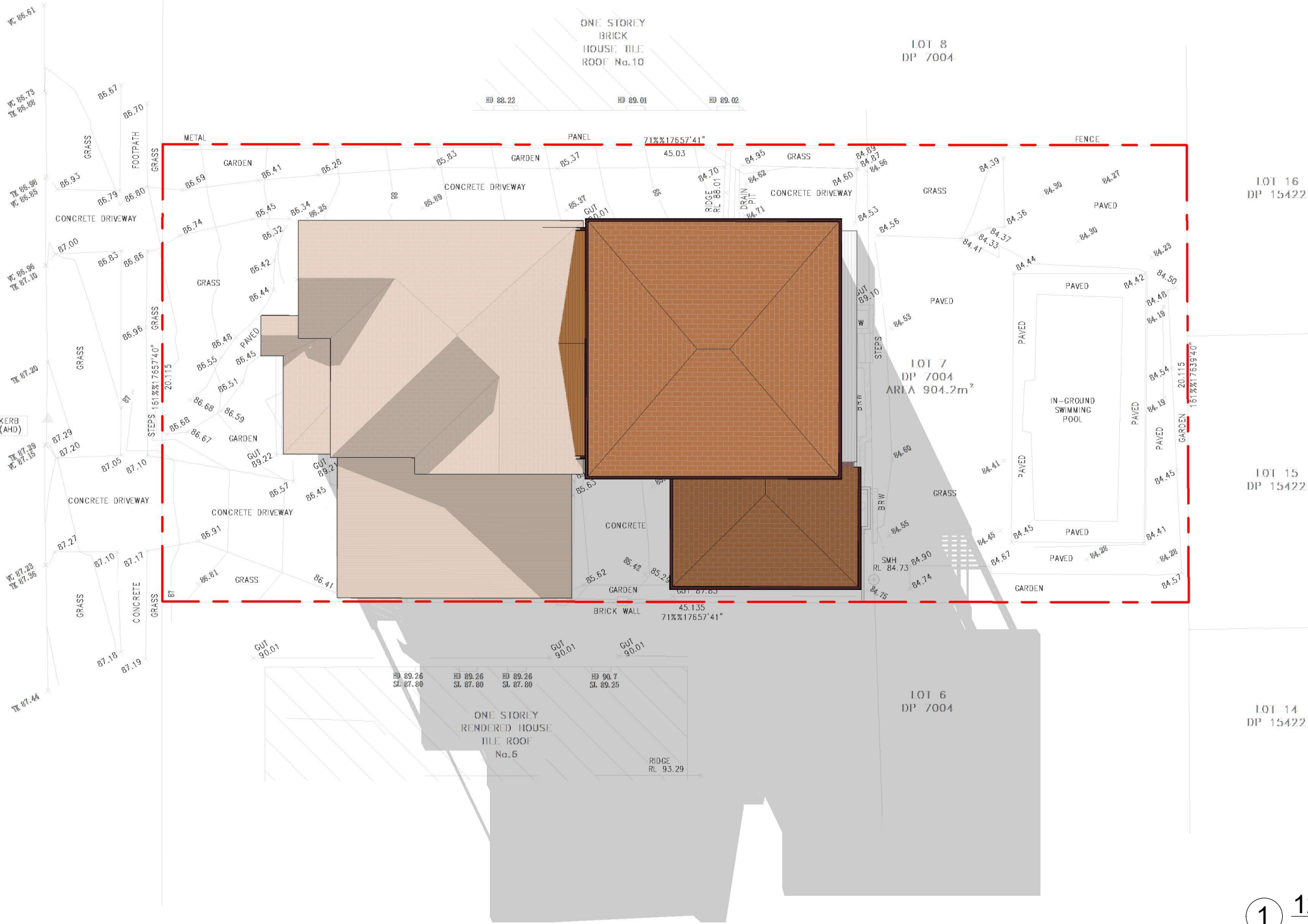
DRAWN: Bohan SUN
CHECKED: Jun WANG
DATE: 23/06/2024

NORTH POINT:

SCALE@A3
AS INDICATED

VALLEY ROAD

BM DH IN KERB
RL 87.255 (AHD)



1 12. 3PM ON 22 JUNE
1 : 200

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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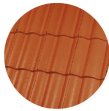
ADEXT ARCHITECTS
NOMINATED ARCHITECT: JUN WANG
NSW ARB# 9119


PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou


PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 7.2	REVISION NO: D2	
DRAWING TITLE: Shadow Diagram - 3PM ON 22 JUNE		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		


MATERIAL COLOR SCHEDULE


NOTE: THE CLIENTS, CONTRACTOR OR BUILDER RETAINS THE RIGHTS TO SELECT OR DECIDE THE BUILDING MATERIALS INCLUDING BUT NOT LIMITED TO FACE BRICK, RENDERING, ROOFING, AND CLADDING IN THE SIMILAR COLORS.


- 

RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- 

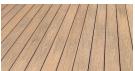
RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- 


W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- 


W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- 

GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- 

WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)

- 

TIMBER DECKING
COLOR: MEDIUM
- 

FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- 

RAILING
COLOR: WHITE



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:



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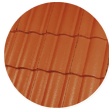
ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119


PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou


PROJECT NUMBER: 2307001		PROJECT STATUS: DA SUBMISSION	
DRAWING NUMBER: 11.1		REVISION NO: D2	
DRAWING TITLE: 3D View			
DRAWN: Bohan SUN		DATE: 23/06/2024	
CHECKED: Jun WANG			


MATERIAL COLOR SCHEDULE


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- 

RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- 


RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- 


W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- 


W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- 

GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- 

WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)

- 

TIMBER DECKING
COLOR: MEDIUM
- 

FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- 

RAILING
COLOR: WHITE



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

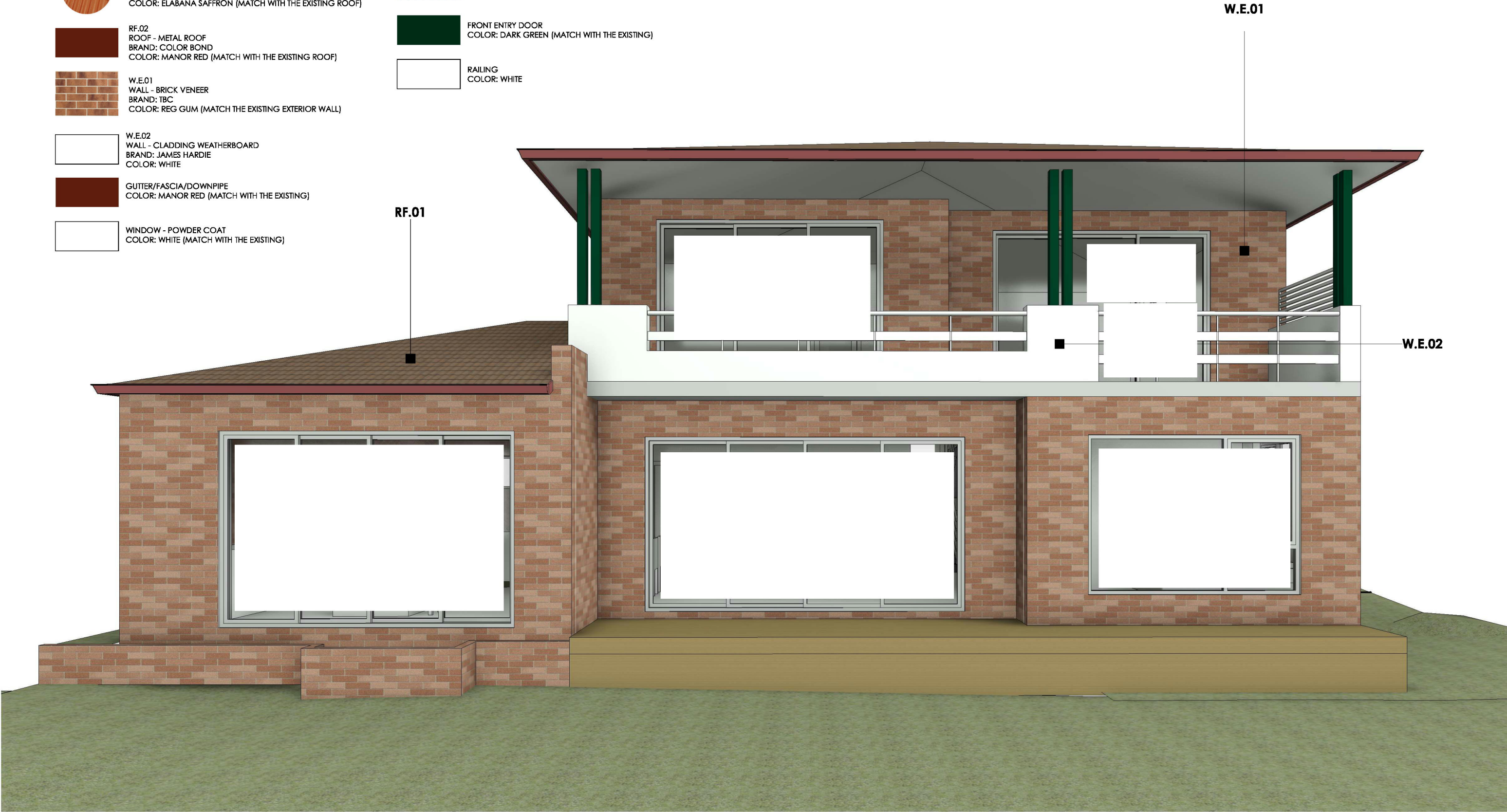
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 11.0	REVISION NO: D2	
DRAWING TITLE: 3D View		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		

MATERIAL COLOR SCHEDULE

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- RF.01
ROOF - CONCRETE TILE ROOF
BRAND: MONIER
COLOR: ELABANA SAFFRON (MATCH WITH THE EXISTING ROOF)
- RF.02
ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)
- TIMBER DECKING
COLOR: MEDIUM
- FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- RAILING
COLOR: WHITE



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

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COMMENTS:

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ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 11.2	REVISION NO: D2	
DRAWING TITLE: 3D View		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE: 1:50 AS INDICATED
CHECKED: Jun WANG		

MATERIAL COLOR SCHEDULE

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ROOF - CONCRETE TILE ROOF
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ROOF - METAL ROOF
BRAND: COLOR BOND
COLOR: MANOR RED (MATCH WITH THE EXISTING ROOF)
- W.E.01
WALL - BRICK VENEER
BRAND: TBC
COLOR: REG GUM (MATCH THE EXISTING EXTERIOR WALL)
- W.E.02
WALL - CLADDING WEATHERBOARD
BRAND: JAMES HARDIE
COLOR: WHITE
- GUTTER/FASCIA/DOWNSPIPE
COLOR: MANOR RED (MATCH WITH THE EXISTING)
- WINDOW - POWDER COAT
COLOR: WHITE (MATCH WITH THE EXISTING)

- TIMBER DECKING
COLOR: MEDIUM
- FRONT ENTRY DOOR
COLOR: DARK GREEN (MATCH WITH THE EXISTING)
- W.E.02
RAILING
COLOR: WHITE



ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
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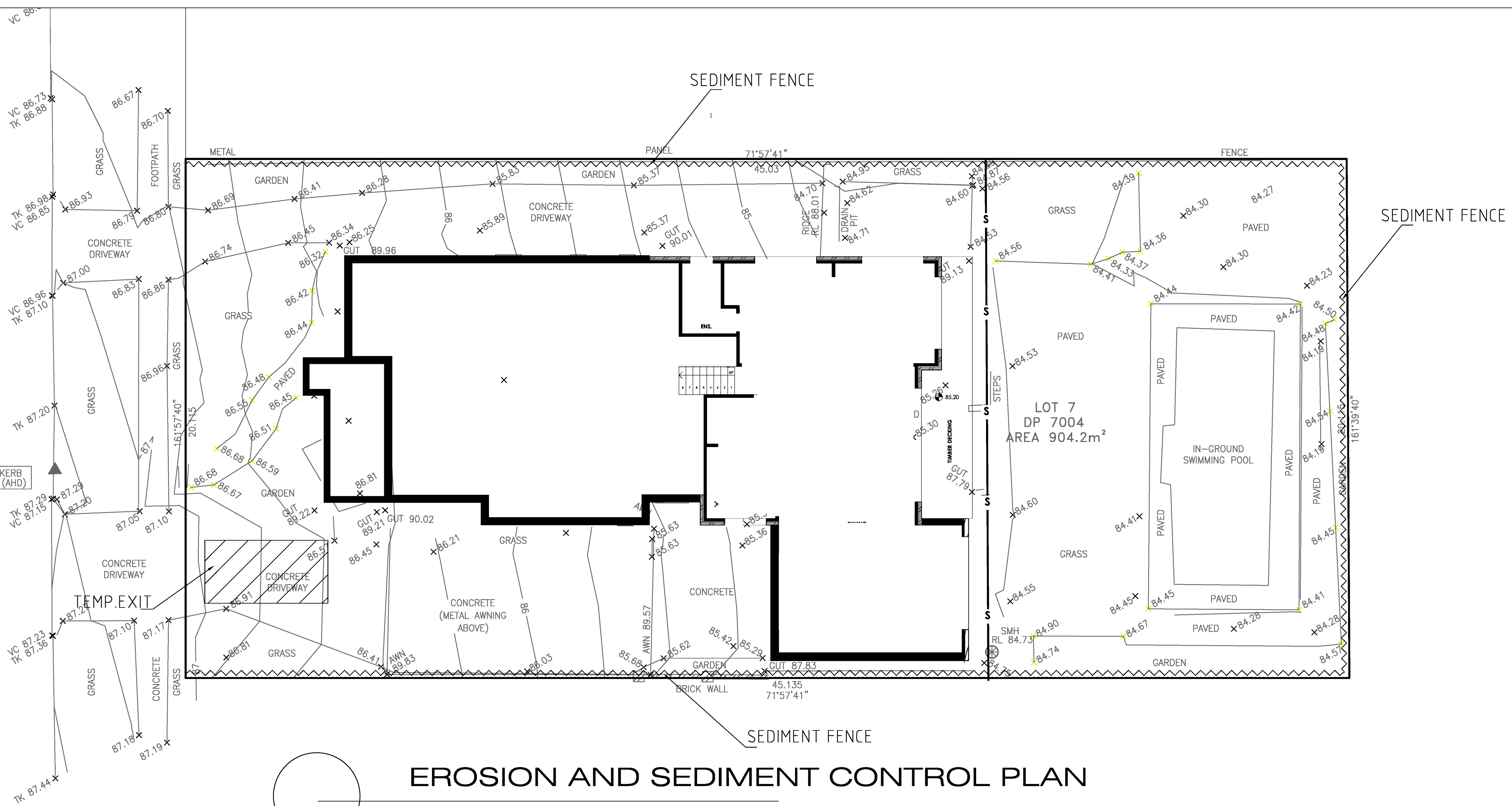
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NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE
PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004
CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 11.3	REVISION NO: D2	
DRAWING TITLE: 3D View		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE@A3 AS INDICATED
CHECKED: Jun WANG		

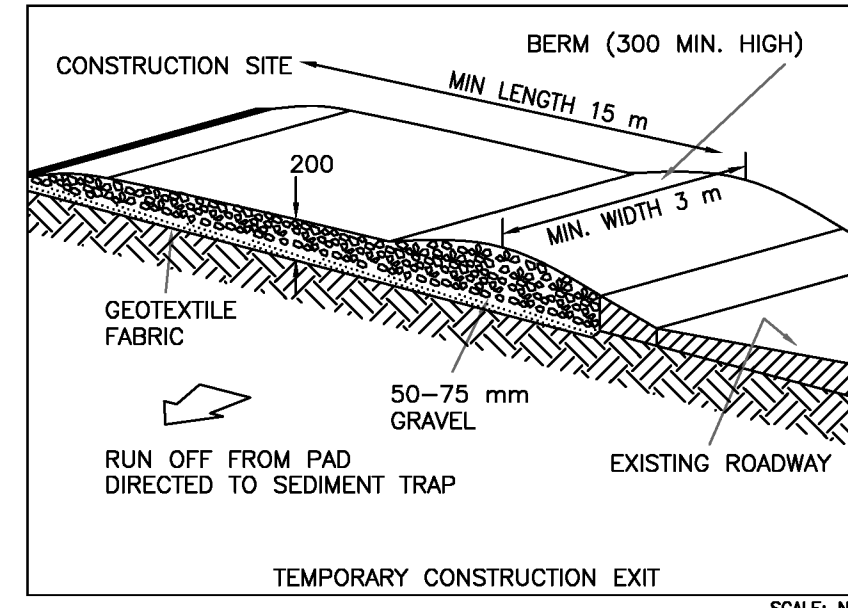
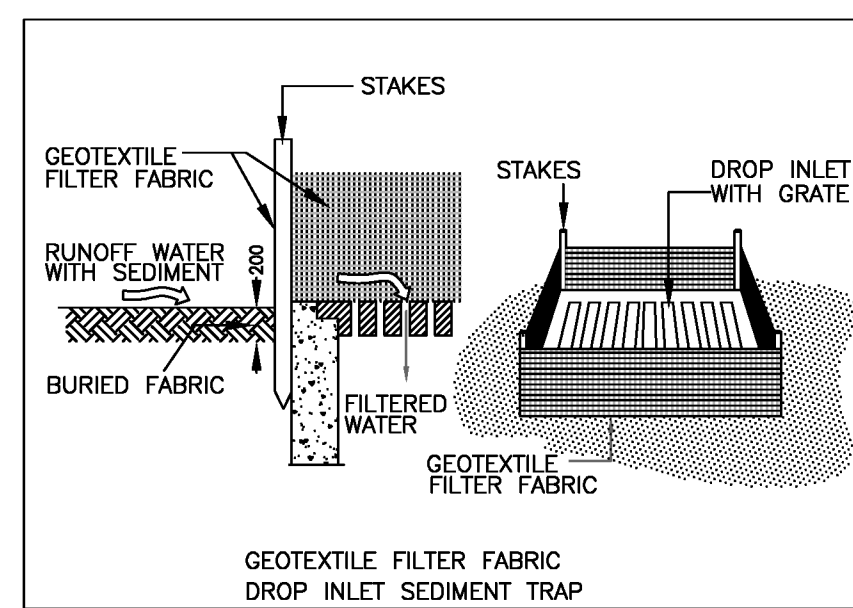
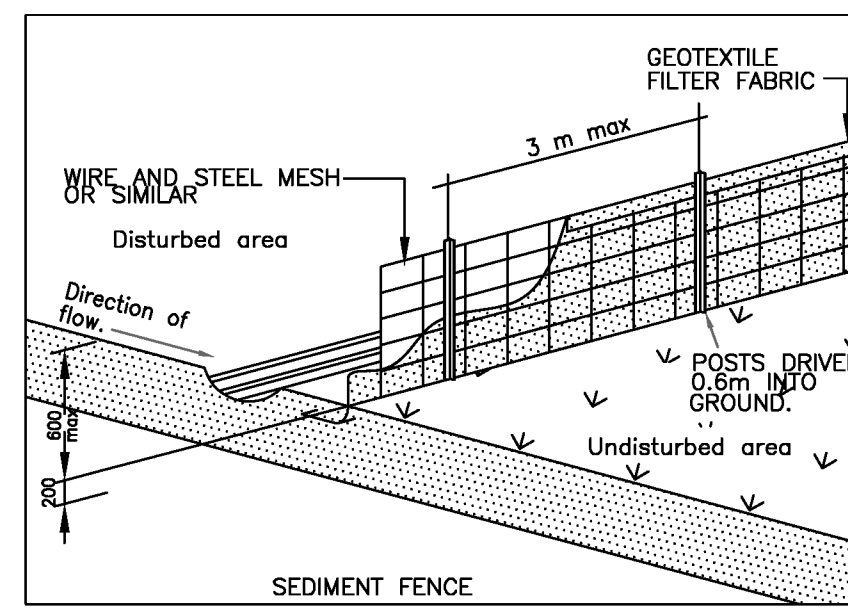
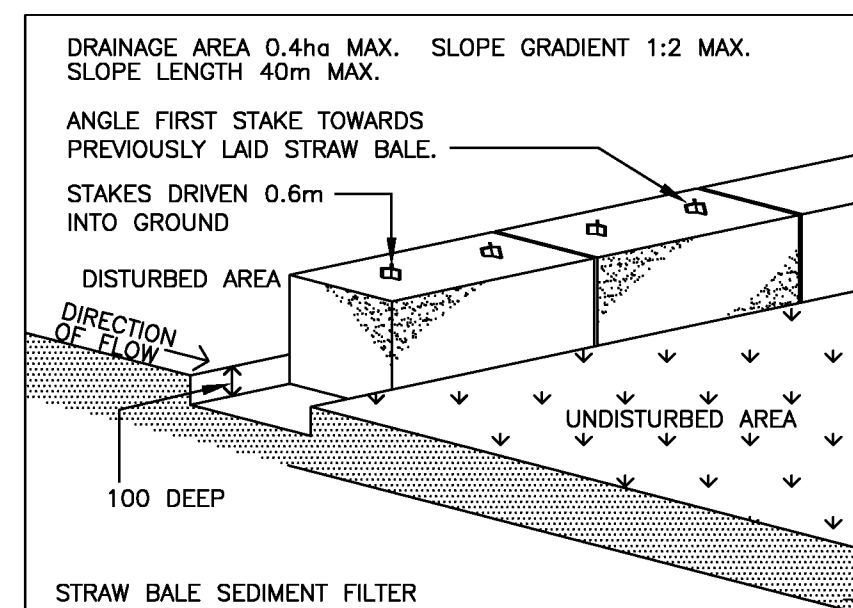
VALLEY ROAD

BM DH IN KERB
RL 87.255 (AHD)



EROSION AND SEDIMENT CONTROL PLAN

SCALE 1:100 @ A1



1	25/06/2024	ISSUED FOR DA APPROVAL	JZ
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

MBC ENGINEERING

MBC ENGINEERING PTY LTD
PO BOX 269, PARRAMATTA
EMAIL: mbconsulting@live.com
MOBILE: 0432546227

PROPOSED RESIDENTIAL AT:

8 VALLEY RD EASTWOOD

TITLE:

STORMWATER DRAINAGE PLAN

DRAWN BY :

DATE :

25/06/2024

JOB No :

2024292

SET OF :

DESIGNED: C.Z.(BE, MIEAust 3928680)

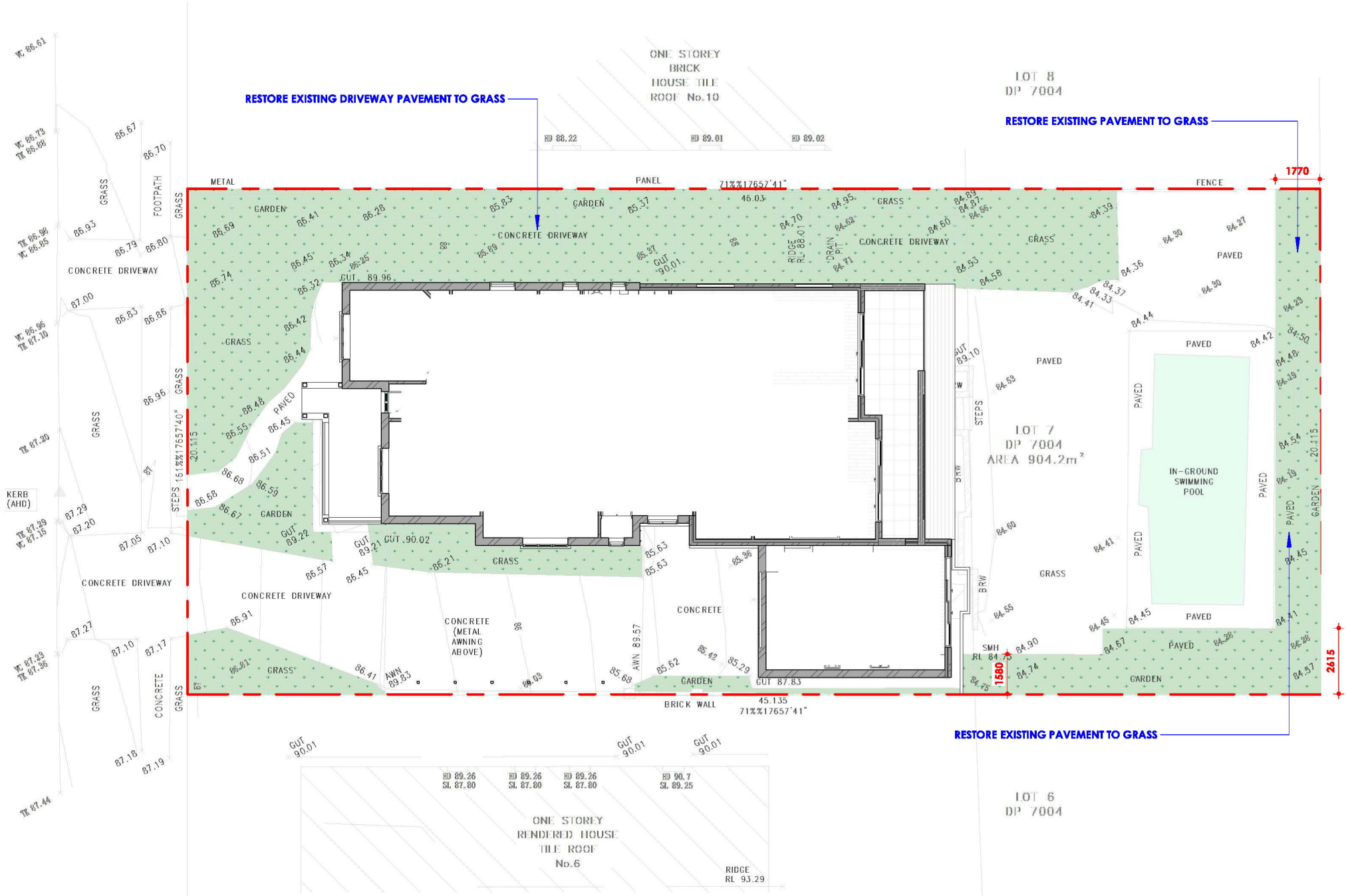
SCALE :

1:100

1:20

SHEET No :

S3



LANDSCAPE AREA TOTAL: 276.8M²

1 8.0. LANDSCAPE. PL
1 : 200

ISSUE	DATE	DESCRIPTION	DRAWN	CHK
D1	23/05/2024	DA SUBMISSION	B.S	J.W
D2	23/06/2024	DA SUB. REVISED	B.S	J.W

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. ALL DIMENSIONS AND SETOUTS ARE TO BE VERIFIED ON SITE
3. ANY OMISSIONS OR DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER
4. DO NOT SCALE. FIGURED DIMENSIONS TO BE USED AT ALL TIME
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE & AUSTRALIAN STANDARDS
6. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL THE RELEVANT CODES AND AUSTRALIAN STANDARDS

COMMENTS:

ADEXT

ARCHITECTS

DESIGN • CONSTRUCTION • CONSULTATION

E: info@adextarchitects.com.au
A: 2a Bile St, Burwood, NSW 2134
M: 0468 687 966
www.adextarchitects.com.au

ADEXT ARCHITECTS
NOMINATED ARCHITECT:
JUN WANG
NSW ARB# 9119

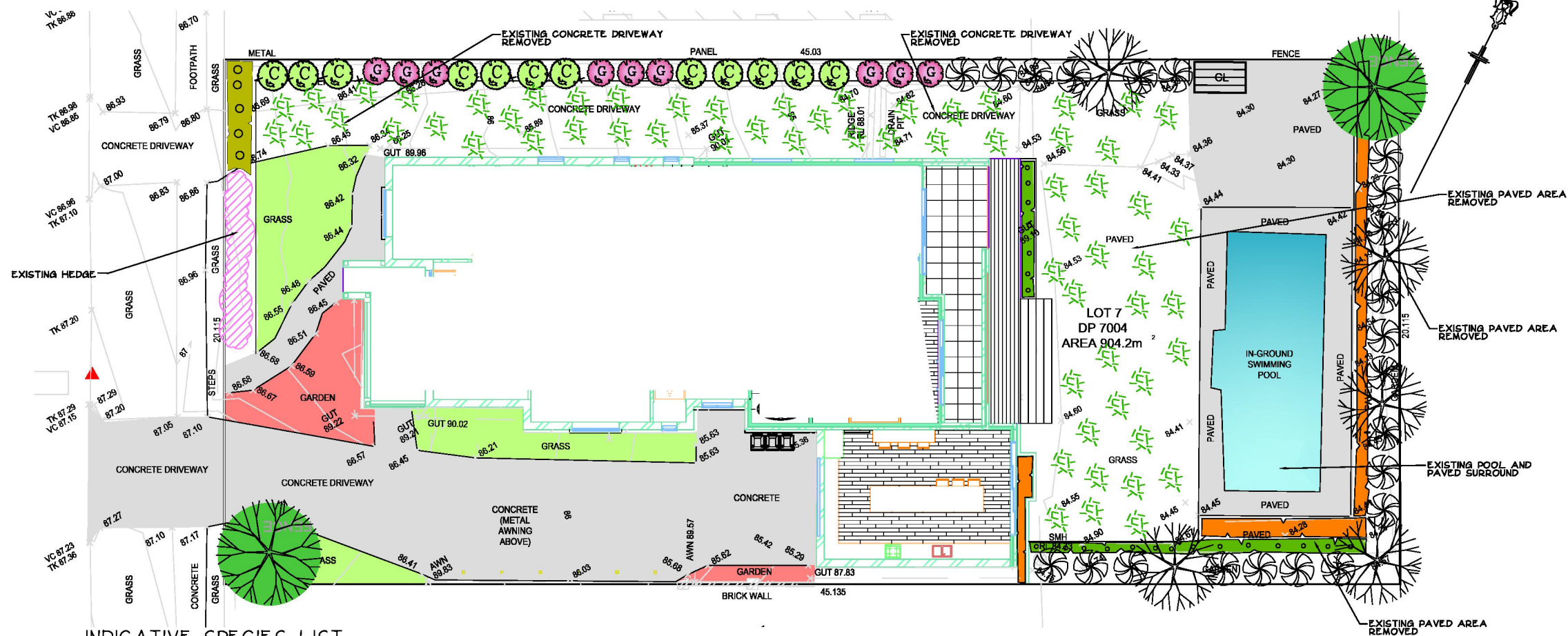
PROJECT DESCRIPTION:
ADDITION & ALTERATION TO EXISTING HOUSE

PROJECT ADDRESS:
8 Valley Road Eastwood NSW 2122
LOT 7 / DP 7004

CLIENT:
Mr & Mrs Zhou

PROJECT NUMBER: 2307001	PROJECT STATUS: DA SUBMISSION	NORTH POINT:
DRAWING NUMBER: 1.1	REVISION NO: D2	
DRAWING TITLE: Landscape Plan		
DRAWN: Bohan SUN	DATE: 23/06/2024	SCALE: A3 AS INDICATED
CHECKED: Jun WANG		

LANDSCAPE CONCEPT PLAN



LEGEND

- GROUND COVER (TYPE A)
- HEDGE TYPE A
- HEDGE TYPE B
- SCREEN TREE OR SHRUB
LILLY PILLY "CASCADE"
- SCREEN SHRUB
C - CAMELLIA
- SHRUB
G - GARDENIA
- NATIVE FEATURE TREE
BLUEBERRY ASH
- NATIVE CANOPY TREE
SCRIBBLY GUM
- EXISTING HEDGE
- EXISTING TURF
- EXISTING GARDEN
- TURF BUFFALO "PALMETTO" OR "SIR WALTER"
- CLOTHES LINE
- CONCRETE OR BRICK EDGE
- GARBAGE BINS
- EXISTING CONCRETE PAVEMENT OR PAVERS/ BRICK PAVING

INDICATIVE SPECIES LIST

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	POT SIZE	APPROX No.
GROUND COVER (TYPE A)					
<i>Nandina domestica</i> "Gulf Stream"	Sacred Bamboo	40-50cm	40-50cm	150mm	75
HEDGE TYPE A					
<i>Buxus microphylla</i> "Japanica"	Japanese Box	1-2m	0.75m	200mm	36
HEDGE TYPE B					
<i>Photinia</i> spp	Photinia	2-3m	1-2m	200mm	4
FEATURE SHRUB					
<i>Gardenia augusta</i> "Florida"	Florists Gardenia	0.6-1m	0.6-1m	200mm	9
SCREEN TREE OR SHRUB					
<i>Camellia sasanqua</i>	Camellia	2-3m	1-1.5m	200mm	12
<i>Mime</i> "no yuki"	Weeping lillypilly	2-3m	1-2m	200mm	22
NATIVE FEATURE TREE					
<i>Elaeagnus reticulatus</i>	Blue berry ash	6-8m	5m	45 litre	5
NATIVE CANOPY TREE					
<i>Eucalyptus haemostoma</i>	Weeping lillypilly	13-15m	15m	45 litre	2

PLANTING NOTES

GROUND COVER TYPE "A" TO BE PLANTED AT 2-3 PER LNM
HEDGE TYPE "A" TO BE PLANTED AT 2 PER LNM
HEDGE TYPE "B" TO BE PLANTED AT 1 PER LNM

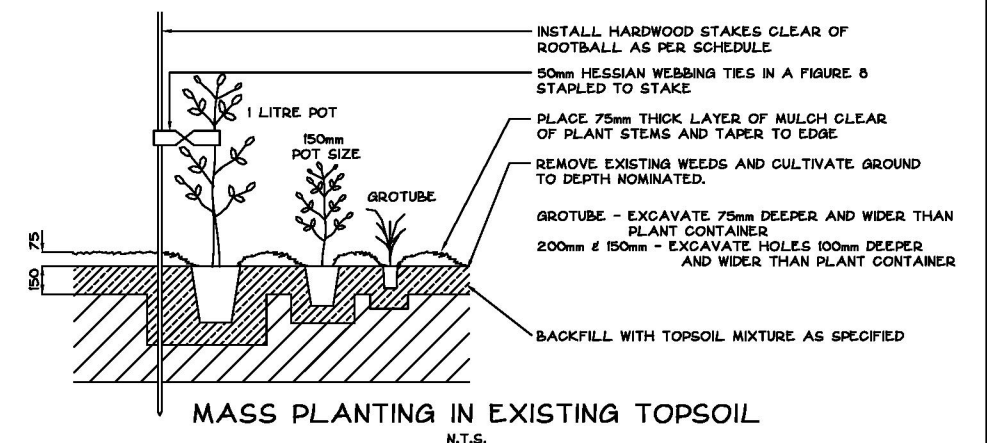
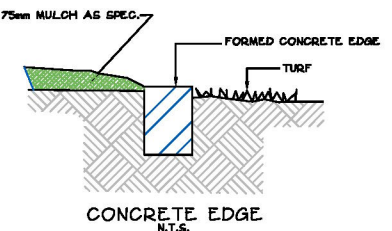
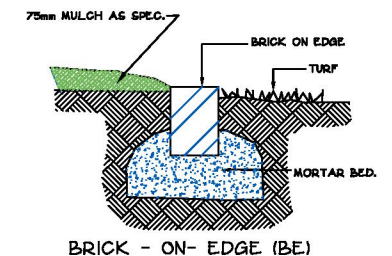
MAINTENANCE

THE MAINTENANCE PERIOD WILL BE FOR 12 MONTHS, FROM PRACTICAL COMPLETION
THE MAINTENANCE IS FOR ALL AREAS COVERED BY THE APPROVED LANDSCAPING PLAN, WITH WORKS TO INCLUDE
BUT NOT LIMITED TO THE FOLLOWING ITEMS

1. WATERING ALL PLANTING AND LAWN AREAS/ IRRIGATION MAINTENANCE
2. CLEARING LITTER AND OTHER DEBRIS FROM LANDSCAPED AREAS
3. REMOVE WEEDS, PRUNING AND GENERAL PLANT MAINTENANCE
4. REPLACEMENT OF DAMAGED, STOLEN OR UNHEALTHY PLANTS
5. MAKE GOOD AREAS OF SOIL SUBSIDENCE OR EROSION
6. TOPPING UP OF MULCHED AREAS
7. SPRAY / TREATMENT FOR INSECT AND DISEASE CONTROL
8. FERTILISING WITH APPROVED FERTILIZERS AT CORRECT RATES
9. MOWING LAWNS & TRIMMING EDGES EACH 14 DAYS IN SUMMER OR 16 DAYS IN WINTER
10. ADJUSTING TIES TO STAKES
11. MAINTENANCE OF ALL PAVING, RETAINING & HARDSCAPE ELEMENTS

GENERAL NOTES

1. HARDWOOD STAKES TO BE 38 x 38 x 1800
2. AN APPROVED SLOW RELEASE PELLET TYPE FERTILISER HAVING AN NPK RATIO OF 18:2:13.1 EQUIVALENT TO OSMOCOTE 12 - 14 MONTH SLOW RELEASE FERTILISER APPLIED AT THE RATE SPECIFIED BY THE MANUFACTURER SHALL BE USED
3. PROPOSED TURF AREA SHOWN TO BE FERTILISED WITH A NPK RATIO OF 3:2:4:4.3 SIMILAR TO No 17 LAWN FOOD AT THE RATE SPECIFIED BY THE MANUFACTURER
4. ALL GARDEN AREAS TO BE FILLED WITH APPROVED TOP SOIL AT MINIMUM 150mm DEPTH
5. ALL TURFED AREAS TO HAVE A MIN. OF 50mm OF APPROVED TOP SOIL PLACED PRIOR TO TURFING
6. TOPSOIL SHOULD CONFORM TO AS 4413 "SOILS FOR LANDSCAPING AND GARDEN" AND TO BE SUITABLE FOR NATIVE PLANT GROWTH WITH LOW PHOSPHORUS CONTENT, CONTAINING ORGANIC MATTER AND FREE FROM STONES OR OTHER MATERIAL EXCEEDING 25mm IN ANY DIMENSION.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
8. IN ALL GARDEN AREAS, EXISTING SOIL TO BE DEEP RIPPED TO 200mm AND CULTIVATED TO 100mm
9. IN ALL TURFED AREAS, EXISTING SOIL TO BE CULTIVATED TO 75mm
10. WATERING REGIME. THE FIRST MONTH AFTER PLANTING IS THE CRITICAL TIME FOR WATERING. THE PLANTS REQUIRE HEAVY WATERING EVERY 3 DAYS. 50mm OF WATER PER WEEK AS A MINIMUM SHOULD BE ADOPTED AS A GENERAL GUIDE
11. MULCH PLANTING BEDS TO A MINIMUM OF 50-75mm AS REQUIRED MULCH TO BE COARSE GRADE HARDWOOD MULCH, CONFORMING TO AS 4454 "COMPOSTS, SOIL CONDITIONERS AND MULCHES"
12. DECORATIVE PEBBLE MULCH COULD BE USED IN AREAS BORDERING DRIVEWAYS & AREAS SUBJECT TO ONSITE DETENTION
13. EXCESS TOPSOIL GENERATED BY THE DEVELOPMENT CAN BE USED TO MOUND UP PLANTING BEDS IN SPECIFIED AREAS



F		
E		
D		
C		
B		
A	FIRST ISSUE	25/7/24
No.	AMENDMENT	DATE

Bio Engineered Solutions Pty. Ltd.

Landscape design and Environmental Management

3 TERRYMOOT RD
WARRIMOO, 2774

EMAIL: kle_nkr@dx.com.au

A.B.N. 83 104865219
PH: (02) 4753 6614



DESIGNED KN
DRAWN KN
CHECKED _____

SCALE:
1:100

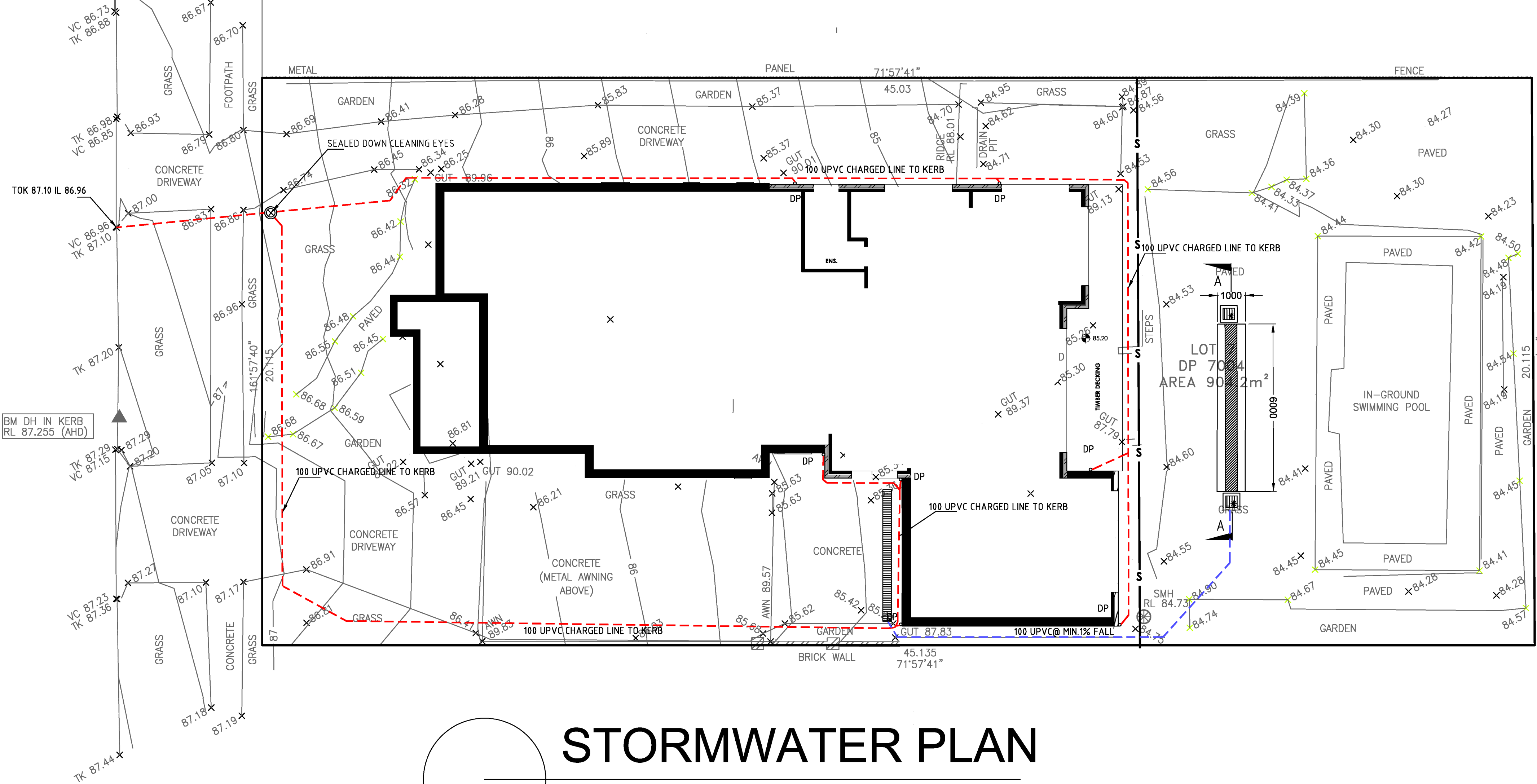
CLIENT:
MR & MRS ZHOU

PROPOSED ALTERATIONS & ADDITIONS

No 8 VALLEY ROAD, EASTWOOD
LANDSCAPE CONCEPT PLAN

PLAN No.
1990LAN1 A
FILE No.
1990LAN
SHEET 1 OF 1 SHEETS

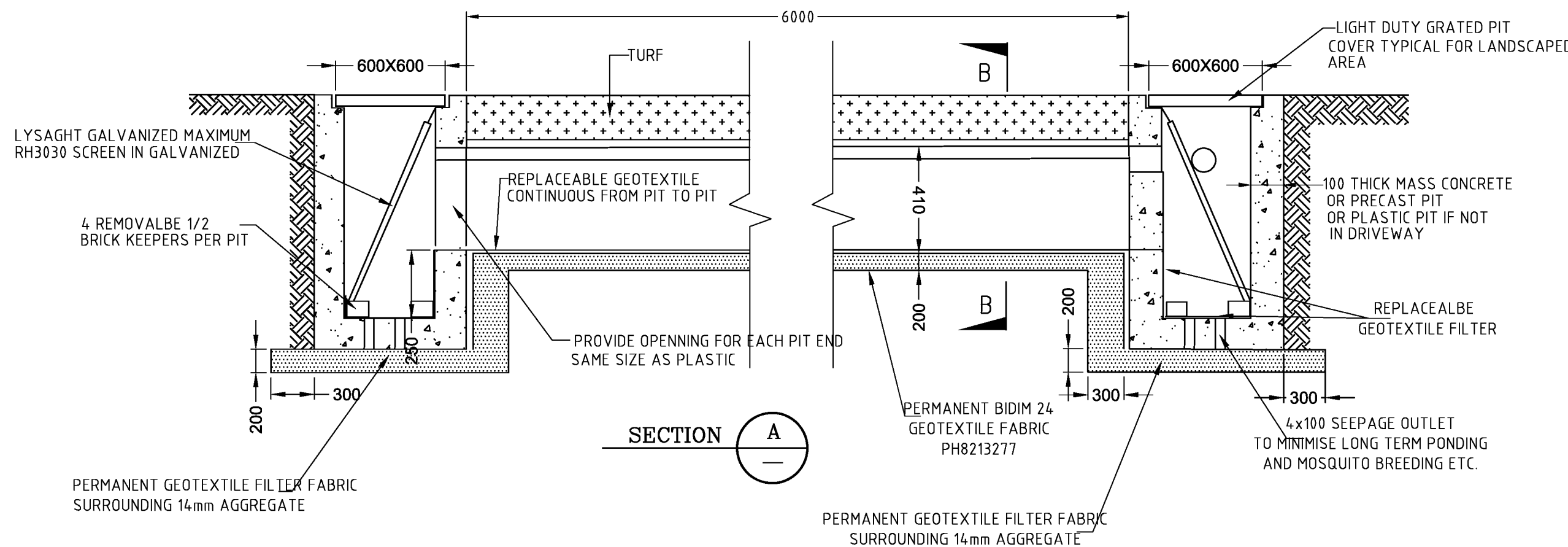
VALLEY ROAD



STORMWATER PLAN

SCALE 1:100 @ A1

* NEW LEVEL
+ EXISTING LEVEL
ALL DP TO BE 100 UPVC



- NOTES
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
 2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
 3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
 4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
 5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
 6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
 7. ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
 8. SWD PITS CAN BE PRE-CAST SIZED AS FOLLOWS:
450mm SQ. UP TO 600mm DEEP
600mm SQ. UP TO 1000mm DEEP
 9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
 10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
 11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
 12. TOPSOIL SHALL BE STRIPPED ON STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
 13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
 14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

1	24/06/2024	ISSUED FOR DA APPROVAL	JZ
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

MBC ENGINEERING

MBC ENGINEERING PTY LTD
PO BOX 269, PARRAMATTA
EMAIL: mbiconsulting@live.com
MOBILE: 0432546227

PROPOSED RESIDENTIAL AT:

8 VALLEY RD EASTWOOD

TITLE:

STORMWATER DRAINAGE PLAN

DRAWN BY :

DATE :

24/06/2024

JOB No :

2024292

SET OF :

DESIGNED: C.Z.(BE, MIEAust 3928680)

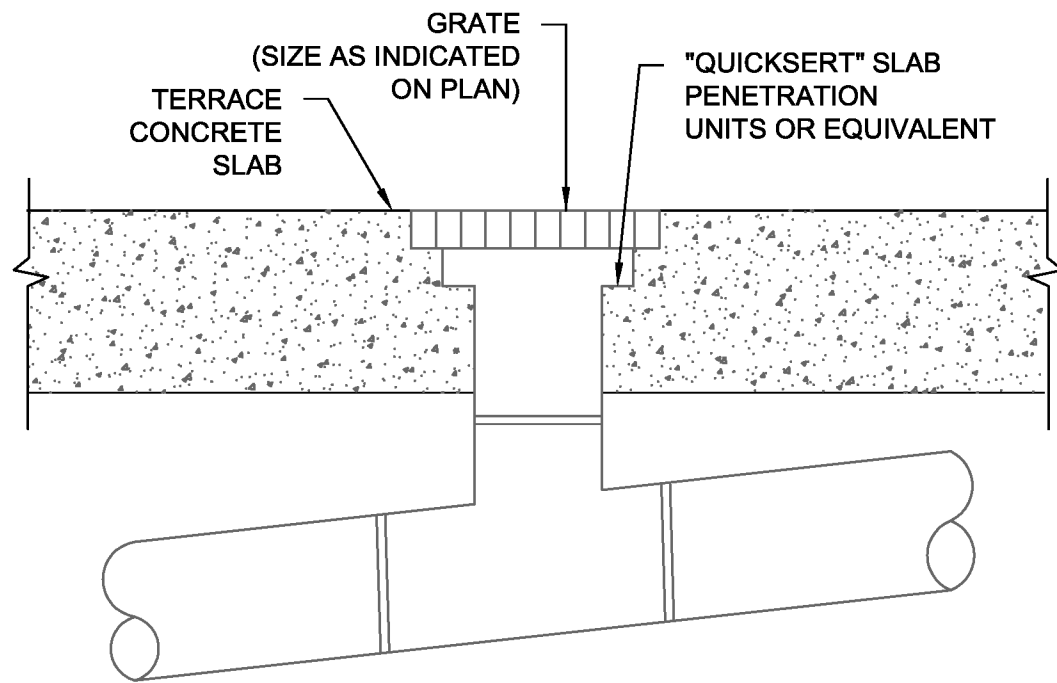
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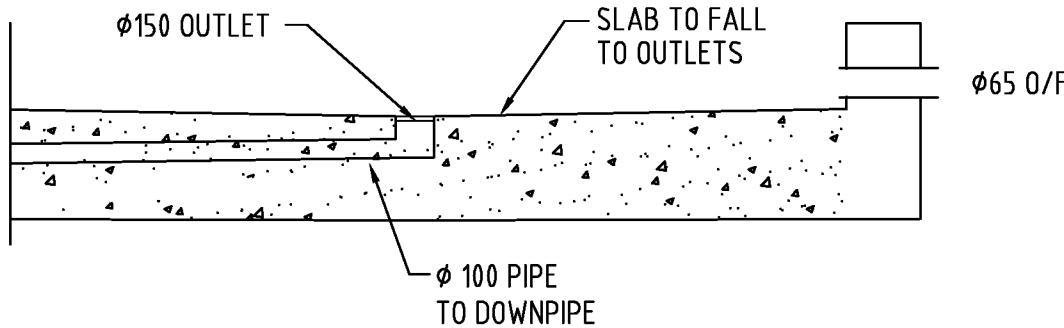
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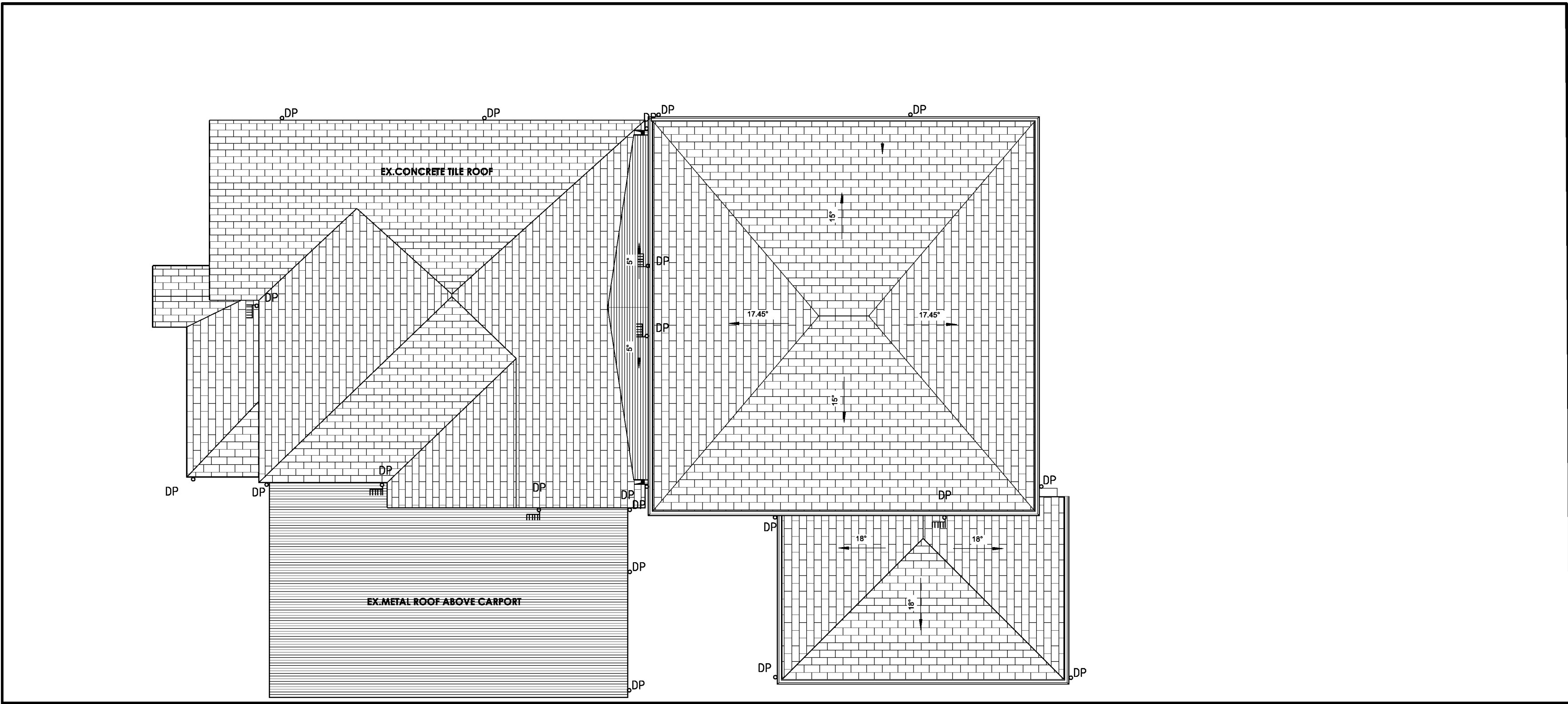
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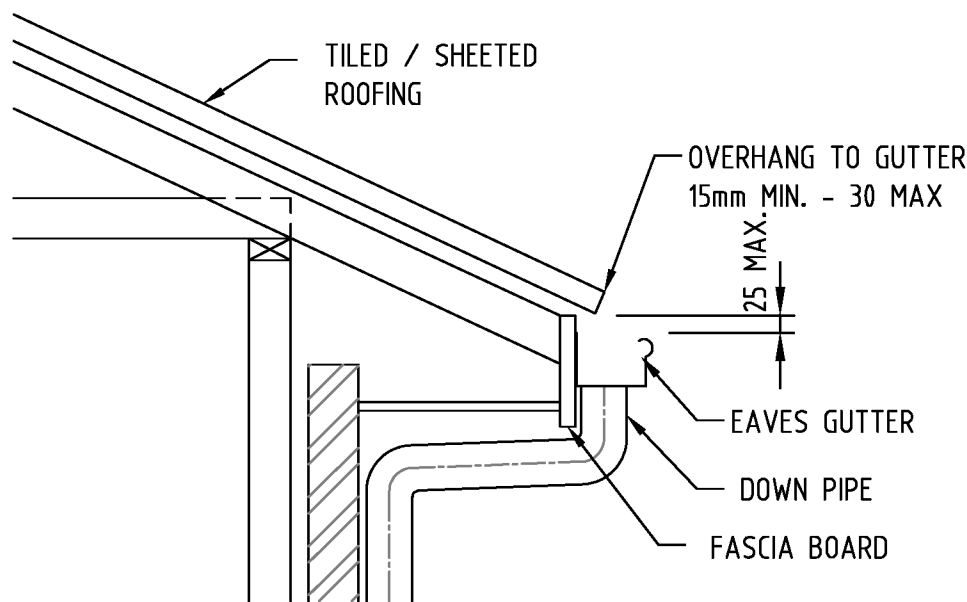
RAINWATER OUTLET DETAIL
N.T.S.



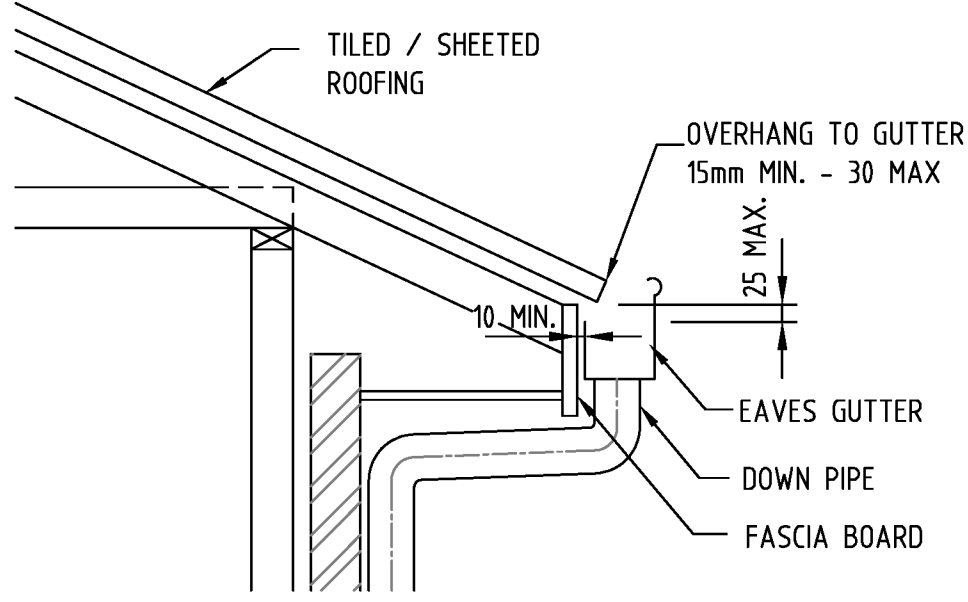
BALCONY OUTLET DETAIL N.T.S.



ROOF PLAN



TYPICAL EAVE GUTTER DETAIL N.T.S.
WITH LOW FRONT



TYPICAL EAVE GUTTER DETAIL N.T.S.
WITH HIGH FRONT & 10mm GAP TO FACIA

1	24/06/2024	ISSUED FOR DA APPROVAL	JZ
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

MBC ENGINEERING

MBC ENGINEERING PTY LTD
PO BOX 269, PARRAMATTA
EMAIL:mbcconsulting@live.com
MOBILE: 0432546227

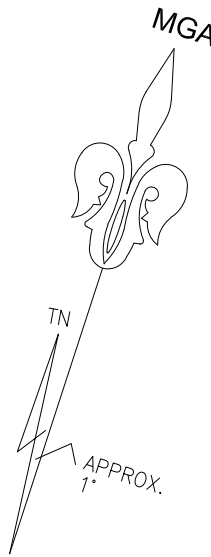
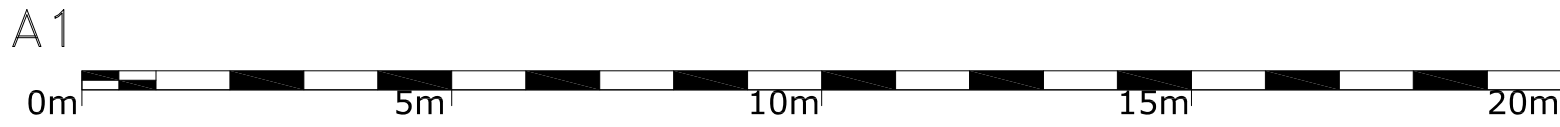
PROPOSED RESIDENTIAL AT:

8 VALLEY RD EASTWOOD

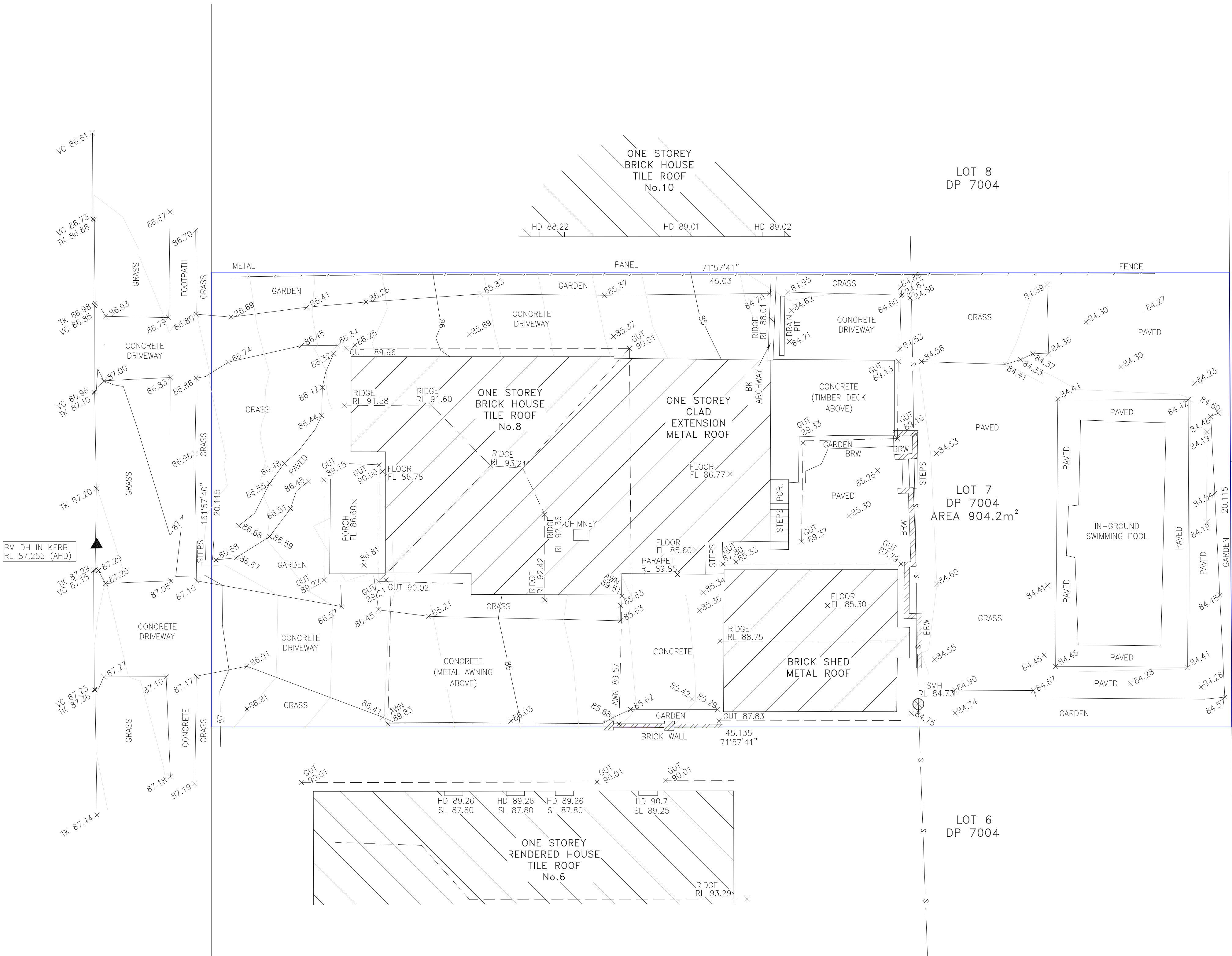
TITLE:

STORMWATER DRAINAGE PLAN

DRAWN BY :	DATE : 24/06/2024	JOB No : 2024292	SET OF :
DESIGNED: C.Z.(BE, MIEAust 3928680)	SCALE : 1:100 1:20	SHEET No : S2	



VALLEY ROAD



LEGEND	
BM	BENCH MARK
FL	FLOOR LEVEL
T	TRUNK(TREE)
S	SPREAD(TREE)
H	HIGH(TREE)
HD	HEAD OF WINDOW
SL	SILL OF WINDOW
TK	TOP OF KERB
IL	INVERT OF PIT
VC	VEHICLE CROSS
GUT	GUTTER
BRW	BRICK RETAINING WALL
SMH	SEWER MANHOLE
-S-	SEWERLINE (APPROX.)
M	WATER METER
P	POWER POLE
C	COMMS PIT

THE LOCATION OF THE SEWERLINE IS APPROXIMATE ONLY AND IS REFERENCED FROM DBYD:
Job No: 35967631
Sequence No: 234987878



NCAFSURVEY Pty Ltd
ABN 216 2666 7301

LAND SURVEYOR
P.O. BOX 101, CAMPSIE NSW 2194
PHONE: 0404320691
E-mail: ncfsurvey@gmail.com

DATE: 10-02-2024

SCALE: 1:100

DRAWN: L.M.

DATUM
AHD
ORIGIN OF LEVELS:
SSM 97574 RL 79.35
DATE: 05/02/2024

SITE: 8 VALLEY ROAD,
EASTWOOD, NSW

PLAN
DETAIL & LEVEL SURVEY

PLOT FILE: 6 VALLEY ROAD

SHEET: 1 OF 1

CLIENT: HE JIE ZHOU &
WAN WANG

TITLE: 7/7004

ISSUE: 1

L.G.A: CITY OF PARRAMATTA

COUNTY CUMBERLAND

NOTES: IF ANY CONSTRUCTION WORK IS PLANNED THE CONCERNED SHOULD UNDERTAKE A FURTHER SURVEY TO DEFINE ANY BOUNDARIES AS NO BOUNDARIES HAVE BEEN DEFINED. DIMENSIONS AND BEARINGS ARE FROM DP7004. ANY POINT CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE CHECKED BY THE BUILDER/ARCHITECT BEFORE ANY WORK COMMENCING. ALL SERVICES ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST. ALL TREES ARE APPROXIMATE SIZE AND LOCATION ONLY. DIAL BEFORE YOU DIG SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION WORK ON 1100. PRIOR TO THE COMPLETION OF ANY PLANS AND/OR CONSTRUCTION FURTHER FIELD WORK SHOULD BE UNDERTAKEN. BOUNDARY NOT SURVEYED

FILE COPY

2 August 2024

Dear Sir/Madam,

DEVELOPMENT APPLICATION ON PUBLIC NOTIFICATION

Application No.: DA/418/2024
Property: 8 Valley Road, EASTWOOD NSW 2122, LOT 7 DP 7004
Applicant's Name: B Sun
Proposal: Alterations and additions to existing heritage dwelling house. The building is identified as a local heritage item I65 pursuant to Parramatta LEP Schedule 5 Part 1 Heritage Items
Notification Period: **12 August 2024** to **26 August 2024**

City of Parramatta has received the above Development Application.

You are invited to review the application and should you wish, make a written submission. Please refer to the City of Parramatta website for information to guide you with the submissions process: cityofparramatta.nsw.gov.au/business-development/submissions.

You can access the entire application (other than internal residential floor plans, documents containing signatures or personal information) via "Online Services" (Track an Application) on Council's website: cityofparramatta.nsw.gov.au.

Due to maintenance on Council's DA Tracker, the application will also be published on the NSW Planning Portal website during the exhibition dates: planningportal.nsw.gov.au/daexhibitions.

If you do not have access to the internet or are having difficulties perusing the documents, please attend your nearest City of Parramatta Library where computers are available for use.

If you have any questions relating to this application, please phone Felicity Lam, Development Assessment Officer during contact hours (10am-12pm) on 9806 5600.

Yours sincerely,



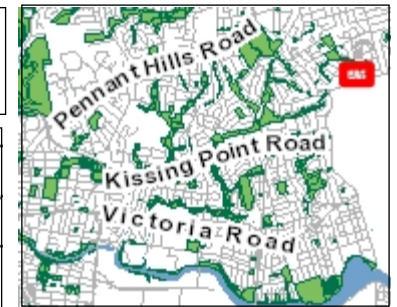
Per: Felicity Lam
Development Assessment Officer

Contact us:

council@cityofparramatta.nsw.gov.au | 02 9806 5050
@cityofparramatta | PO Box 32, Parramatta, NSW 2124
ABN 49 907 174 773 | cityofparramatta.nsw.gov.au



DA/418/2024 - Notifications



Legend

- Suburbs
- Ward Boundary
- Formerly Parramatta City Cour
- Street Names
- Parcel
- Parks
- Railway Station
- Railway Line
- Road
- Road Intersection
- Watercourse

Disclaimer: While every effort has been made to ensure the correctness of the information on this map at the time of its Production, City of Parramatta council does not warrant the information or plans do not contain errors and the Council shall be in no way liable for any loss, damage or injury as a result of any such errors.

1: 2,000



Printed 02/08/2024

101.6 0 50.80 101.6 Meters

Maps Updated and Published by ICT, City of Parramatta

Base data supplied from NSW Department of Lands

Projection - Map Grid of Australia (MGA94)

Datum - Geocentric Datum of Australia (GDA94)